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# Canton Observer

Volume 16 Number 3

Thursday, July 26, 1990

Canton, Michigan

80 Pages

Fifty Cents

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## Officials probe deadly mid-air plane crash



GUY WARREN/staff photographer

Three men were killed Monday in the mid-air collision of two small airplanes in the skies over western Plymouth Township. A federal official was to continue examining the wreckage of each

plane today, before completing the investigation. For more on the crash see page 3A.

More pictures, 3A

By Kevin Brown  
staff writer

The M-14 freeway is a more likely place to die.

That's because every day at 60-70 mph, drivers pass and switch lanes just yards from one another between Beck and Ridge roads.

But Monday, just a few hundred yards south of M-14, the only two aircraft on the horizon collided in the sky, killing three men.

"Big sky — little airplanes," said National Transportation Safety Board investigator Gene Doub.

The victims were Daniel Starr, 34, of Cedar Springs; Robert Gunn, 65, of Livonia; and Charles Nix, 55, of Detroit.

THE COLLISION occurred at 9:35 a.m. just south of M-14 and west of Beck. While the main wreckage of each airplane was separated by several hundred yards, debris from the crash was scattered over a two-mile area from Hilltop Golf Course at Powell and Beck roads to Gotfredson Road in Salem Township, said Plymouth Township Officer David Hayes.

Deputy Chief Chip Snider said no one on the ground was injured from falling debris.

Officials investigating the crash declined to speculate on the altitude of the two aircraft when the collision occurred. Ashley Heimbaugh, Mette-

**'In a mid-air collision, you always have to explain why the pilot of the striking airplane struck the other airplane.'**

— Gene Doub  
National Transportation  
Safety Board investigator

tal Airport operations manager, said Gunn and Nix weren't flying "at a set altitude. It could have been anywhere from 1,000 to 3,000 feet."

Hayes said township police spoke to several witnesses who saw at least one aircraft trailing smoke after the collision. Neither aircraft was on fire when township police arrived about three minutes after the crash, Snider said.

"Two bodies were found in the wooded area in the field south of M-14," Hayes said. The bodies were identified as Gunn, an instructor on a training flight, and Nix, an experienced pilot taking instruction. Their aircraft, a single engine Piper Cherokee, had taken off from Mettetal Airport in Canton.

Doub said the two men were thrown from the aircraft after the impact.

STARR, PILOTING a Federal Ar-

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## Crash won't be concern in possible airport purchase

By Diane Gale  
staff writer

A mid-air accident that killed three pilots Monday shakes up an already controversial issue about whether Canton should buy Mettetal Airport.

However, township officials say safety hasn't been a big concern and the question centers around how much township money will be used to buy and maintain the airport.

"SAFETY HASN'T been an issue and it still isn't," said Dan Calabrese, Canton administration assistant and chairman of a committee studying the possibility of Canton buying the airport.

"It's beyond dispute that crashes are rare," Calabrese said. "A recommendation from the study committee to the board of trustees is due Aug. 1."

The accident occurred Monday above a field southwest of Beck

Road and M-14. Charles Nix was taking advanced flight instructions from Robert Gunn. He was flying a single engine Cherokee owned by a club that operates out of Mettetal, according to Lou Maitland, aircraft owner, mechanic and pilot. Daniel Starr, 34, was flying alone in a twin-engine Piper Aerostar.

Between 150 and 200 planes fly in and out of Mettetal daily accounting for about 51,500 flights annually, according to Ashley Heimbaugh, who along with his wife, Susan, own the general operations of the airport. About one-third of the flights are instructional, he said.

PILOTS FLYING out of Mettetal don't use a control tower where someone directs pilots. "It's all done by the pilots," said Larry Butske, a former Mettetal employee.

About 90 mph was "climbing out at about 230 mph," Butske said. And the Piper can "top-off" at 230 or so. The Piper likely was traveling so

**'Safety hasn't been an issue and it still isn't. It's beyond dispute that crashes are rare.'**

— Dan Calabrese

much faster than the Cherokee that "maybe there was a bug splotch on the window and he didn't notice the plane."

Canton Supervisor Tom Yack said the accident "would not unduly color my opinion on" whether the township buys the airport that opened in 1939.

The accident, however, "underlines community concerns" about potential hazards caused by the airport.

"The reality of the situation is that people die on expressways each and every day. It's a fact of life. When

people are involved with transportation there are deaths."

The chances of a plane crashing into people are minuscule, according to Larry McCartney, Federal Aviation Administration operations supervisor.

"It's probably a lot safer than standing on the side of the road with automobiles going by," said McCartney.

IN FACT, for every 100,000 hours of pilots flying there were .077 accidents involving planes hitting buildings or residences, according to the

Aircraft Owners and Pilots Association.

The FAA investigation of the Plymouth Township crash is expected to take at least six months.

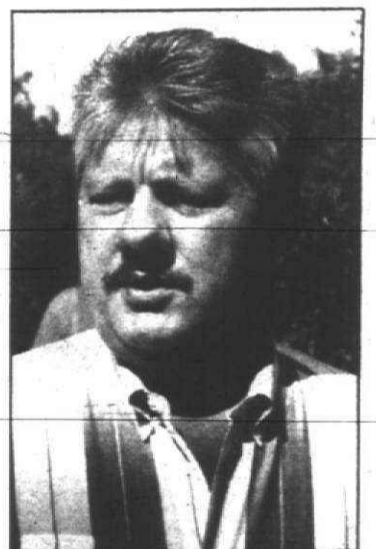
"I don't know if anyone knows why it (accidents) happens," McCartney said.

The FAA doesn't keep figures on where planes, involved in accidents, are coming and going.

However, pilots at Mettetal said the most recent fatality involving the airport was in 1967. The pilot was killed during take-off on the airport field.

Heimbaugh, Mettetal manager, said he doesn't believe Mettetal Airport was involved in the accident Monday.

"The aircraft had already made its departure and that could have been any airplane out of any other airport," he said. "It's like standing between two skyscrapers and in-



Ashley Heimbaugh

Please turn to Page 2

## Check bag from plane crashes through roof

By M.B. Dillon  
staff writer

Todd Miller, 21, was sleeping in his upstairs bedroom shortly after 9 a.m. Monday when "I heard something hit the roof. It was so loud it woke me up and shook the whole house."

"I could hear something moving on the roof. I could hear something shifting. My first reaction was to get out of the house."

Miller, who had just flown home the night before from Florida, thought a plane might have crashed into the house off North Territorial Road, he said.

"I wasn't sure what hit. Cars were rushing by."

"I threw some clothes on and ran outside. I saw a hole in the roof in the back of the house. It was big enough that I could stand through it. You could easily push a basketball through it."

MILLER THEN saw the remains of a twin-engine Piper Aerostar plane that had nosedived moments before in a hayfield several hundred yards north of his house. Papers were flying everywhere.

A zippered, locked deposit bag about 1 1/2 by 1 foot square had penetrated the Millers' shingled roof and entered the attic, where it landed on insulation.

"It didn't come through the roof, but it was

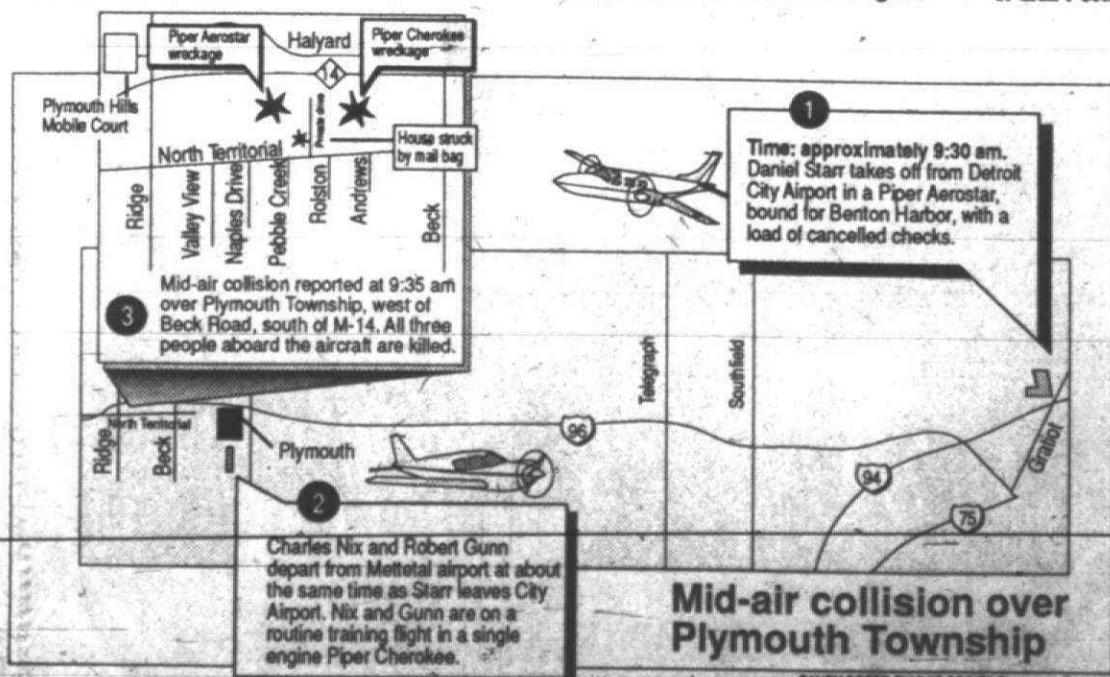
right above my parents' bedroom. I'm lucky. It was a little too close for me."

Miller's parents were out of town. He was alone in the house.

CHECKS COVERED the roof and the entire back and side yards, Miller said.

"I've never seen so many checks. They were

Please turn to Page 4



## Witness: crash like seeing a war movie

Witnesses of the mid-air plane crash Monday gave these accounts of what they saw:

• Ray Michalik, Hilltop Golf Course groundskeeper, said: "I heard a big noise and I looked up in the sky and saw things all over. A big plane went into a tailspin and went straight down. All the debris kept spilling out. I thought I heard a long, drawn out scream. (He said he wasn't sure it came from the plane or witnesses). I think it came from the plane impact. (He said the scream was high pitched and might have been female)."

• Brian Smith, owner of Elite Carpentry was working in a subdivision on Powell and Beck in Hunter's Creek subdivision three quarters of a

mile south of the accident, said. "My laborer said to look at the plane, because it was real low and it was coming over the job site."

"The one plane was real low and it was wobbling around and it looked like he didn't have real good control of the aircraft."

"We went back to work. A couple of seconds later we heard a big crash. I saw the planes when they were falling to the ground. There were a lot of objects and we knew that someone definitely just got killed."

• John Benton, of Detroit, said: "I heard the pop and looked up and the debris was off the plane. I saw the

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# Young witness shaken by mid-air plane crash

Continued from Page 1

tail section fall off. The plane flew a few feet and went straight down. I didn't see the other plane."

• Rick McGarry was in his home at Hix and Joy roads in Livonia, when the crash occurred. "It sounded like an M-80 going off and my wife saw the flash. It shook my house, I know that."

• Rose Van Hemel said she was standing in her kitchen nearby ready to leave for work when the air outside suddenly appeared to be thick with chicken feathers floating to the ground. From her living room window, which faces M-14, Van Hemel "saw the plane hit the ground and splatter all over. I immediately ran out. I didn't hear a loud noise — that's the part of it. It was like a big boom. There were canceled checks floating all over."

• John Van Hemel, whose backyard served as headquarters for the coroner and for the media, said he went to the site of the Aerostar crash. "You couldn't even recognize a body in there. It was terrible looking."

• Steve Woods was putting cement down at a residence near Ridge and Powell when "all of a sudden there was a big boom. It startled me for a minute. I didn't know what happened."

• A woman who lives near the crash site and asked not to be named said "debris was scattered all over. We called 911 and couldn't get through. The planes exploded when they hit. We were all out in the fields searching for the people."

• Jennifer Dixon, 13, saw the crash while sitting on her front

porch in the Plymouth Hills Trailer Park. "They hit wing tips. One plane blew up and the other one went around in a circle. Then it was like he decided he was going to kill himself. He just went down and hit. There wasn't any fire." Jennifer's mother, Shannon, said her daughter "turned stone white. She was shaking like a leaf. She kept going, 'Oh my God, two planes hit.'"

• Shannon Dixon heard the crash, but living so close to M-14 and hearing tires pop so often, she figured that was the cause. "It was just a pop — it sounded more like a car tire, not a truck tire. I saw the big plane coming down. The other plane was in pieces already. It was like seeing a war movie. The only thing flying was debris from the second plane."



Jennifer (left) and Shannon Dixon describe the crash they heard from their home in Plymouth Hills Trailer Park.

Compiled by Diane Gale, Kevin Brown and M.B. Dillon.

# Air safety won't be issue in airport sale

Continued from Page 1

stead of lightning striking them it strikes you. It's one in a million."

Mildred Murphy, an airport study committee member, said her main concern was the amount of tax money that would be spent on Mettetal. "It (accidents) can happen and we were all aware that it could," she said. "That doesn't make my decision for me. I don't want our tax money going to an airport."

"It's lucky it didn't happen over a subdivision. They do come over our

houses," said Murphy, a resident of Pickwick subdivision, one-half mile south of the airport.

## Canton Observer

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# Investigators comb area of crash

## Onlookers line road near site

THE MID-AIR collision of two small airplanes over western Plymouth Township on Monday killed three men.

Daniel Starr, 34, of Cedar Springs; Charles Nix, 45, of Detroit; and Robert Gunn, 65, of Livonia were killed in the 9:35 a.m. collision just south of M-14 and west of Beck Road.

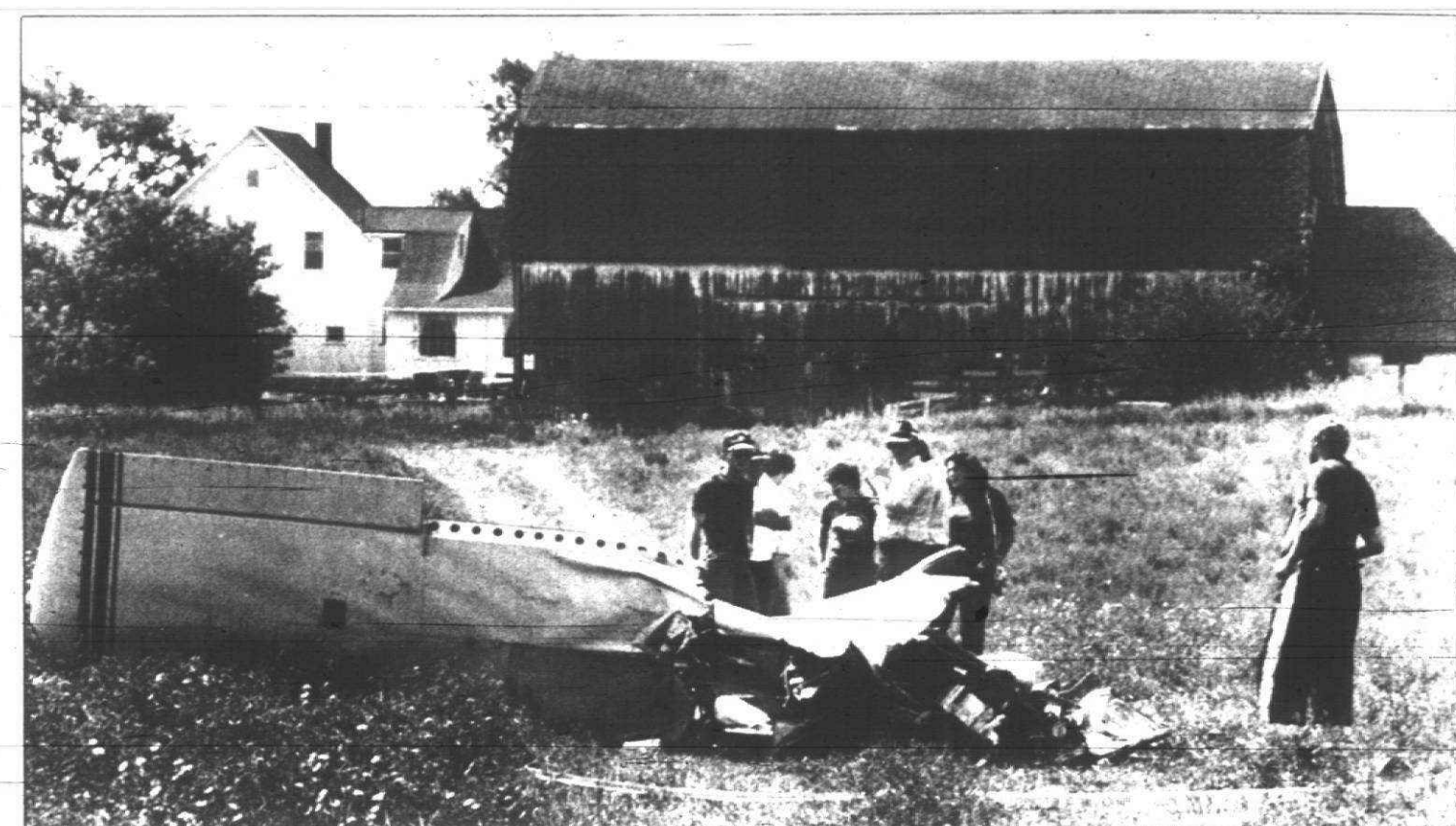
By late Tuesday, wreckage of each airplane was to be transported to a Mettetal Airport hangar, where a National Transportation Safety Board officials planned to reassemble each plane for

clues as to the crash under clear skies.

As local police and Wayne County Sheriff's Department deputies sealed off the area, onlookers lined North Territorial Road and traffic slowed to around 25 mph along M-14.

By noon Monday, police closed North Territorial to through traffic between Beck and Ridge roads, to keep onlookers from jamming the area. The road was opened by mid-morning Tuesday.

The investigation is expected to be completed Friday, a NTSB spokesman said.



Residents of the crash area stand near a wing of the single-engine plane flown by Charles Nix.

GUY WARREN/staff photographer



Plymouth Township firefighters scan the area near the wreckage of the plane flown by Daniel Starr.

GUY WARREN/staff photographer

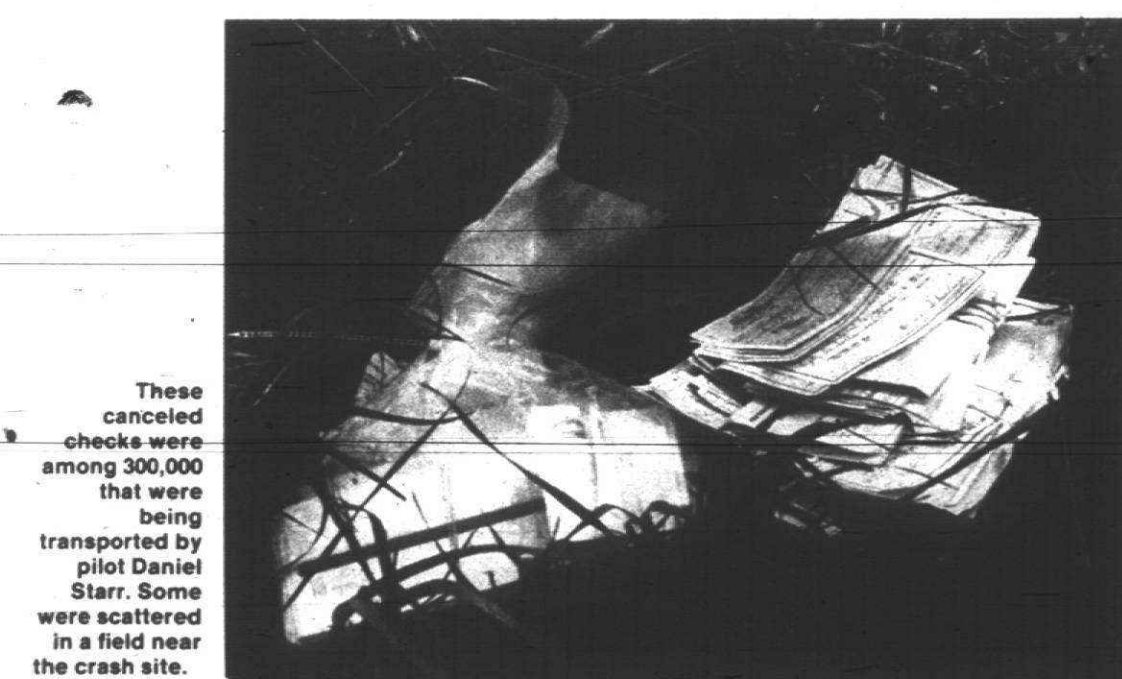


Ashley Heimbaugh, Mettetal Airport operations chief, gestures toward the field where the aircraft flown by pilot Charles Nix came to rest.

GUY WARREN/staff photographer

"It's like standing between two skyscrapers and instead of lightning striking them it strikes you. It's one in a million."

—Ashley Heimbaugh, Mettetal Airport



These canceled checks were among 300,000 that were being transported by pilot Daniel Starr. Some were scattered in a field near the crash site.

ART EMANUELE/staff photographer



Federal investigators survey one of the crash sites just south of M-14 near Beck Road.

GUY WARREN/staff photographer

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### Day care busing program to stay

There's good news for working parents who'd like their children bused to and from a babysitter's home.

The Plymouth-Canton Board of Education voted to keep in place a pilot program launched last year to transport elementary school students to and from their day care provider, rather than to their home.

The policy change was made after parents asked administration for the accommodation.

Transportation can be provided if the babysitter's residence is in an eligible area, even if the student's residence isn't in an eligible area.

"Parents will find this very useful. This taps into parents who need it most, those who have baby-sitting done for them," said Dick Egli, community relations director.

Students will be able to use the service if the babysitter is located within the school attendance area; if there is an existing stop; if the transportation is needed in the morning and afternoon, five days per week; if there is no incremental cost to the district, and if there is space available on the bus.

Parents will be responsible for transportation if the babysitter cannot care for the child.

"Although it was our recommendation not to approve the initial request, it was approved on a pilot basis and implemented last year," said Dale Goby, director of transportation/safety.

"With the new before and after school (day care) program for the 1990-91 school year, there may be a decreased need for these services. We recommend that the program continue without change and that it remain, for one more year, a pilot program."

Twenty-two requests were made by parents last year. Four were denied.

The school board approved the recommendation, 7-0.

Requests for transportation services must be made in writing. They should be directed to Ray Hoedel, associate superintendent for business and operations, 454 S. Harvey Street, Plymouth 48170.

Middle and high school requests should be directed to the school principal. They'll be forwarded to Dale Goby for review.

Requests for transportation services for students going home with a friend on a one-time basis must be approved by the building principal. A note from the parent to the bus driver also is required.

### Airplane mishap

The Plymouth-Canton area's second airplane mishap in three days resulted in no injuries to the pilot and a passenger. Pilot Michael Larson, 30, of Canton and his brother, David Larson, 33, of Mount Clemens, walked away from the blue and white Cessna 172 single-engine plane Wednesday, after it flipped as the pilot tried to abort a 3:36 p.m. takeoff from Mettetal Airport in Canton, Plymouth Township police said. "He was taking off and failed to keep airborne, he skidded across the road," said Plymouth Township police Sgt. Robert Smith. Smith said there was no indication that the plane came close to motorists as it skidded across Joy Road into Plymouth Township, before flipping and landing on its top in a grassy area just across the road. Federal officials at the airport investigating the stored wreckage of two planes that crashed Monday in Plymouth Township said they would investigate Wednesday's mishap.



ART EMANUELE/staff photographer

### Obituaries

**LOIS M. HOBBS**

Services were held for Lois M. Hobbs, 92, of Plymouth Township Monday, July 16 at Schrader Funeral Home. Burial was in Riverside Cemetery, Plymouth.

Mrs. Hobbs is survived by four daughters, Dorothy Basset of Plymouth, Ruth Wingard of Plymouth, Edna Bauman of Plymouth and Beverly Kirby of Lewiston; 10 grandchildren; 16 great-grandchildren and four great-great-grandchildren.

Mrs. Hobbs was born Feb. 7, 1898 in Livonia. She died Friday, July 13 in Garden City. She was a homemaker.

Mr. Sanford Burr presided at the service. Memorial contributions may be given to the American Heart Association of Michigan.

**MARY E. FAULDS**

Services were held for Mary E. Faulds, 91, of Plymouth on Thursday, July 19 at Schrader Funeral Home. Burial was in Parkview Memorial Cemetery in Livonia.

Mrs. Faulds died Monday, July 16, in Ann Arbor. She was born Jan. 18, 1899 in Brazil, Ind. She came to the Plymouth community in 1978 from Detroit. She was a member of the Brightmoor Christian Church, the High Gate Chapter in Highland Park, and of the Victoria Chapter No. 290 of the Order of Eastern Star and Rainbow Girls, with whom she held several state offices. She was a homemaker.

**ELIZABETH C. PARKER**

Services were held for Elizabeth C. Parker, 88, of Lansing Saturday, July 21 at the Schrader Funeral Home. Burial was in Grand Lawn Cemetery in Detroit.

Mr. Hilden died Wednesday, July 18 in Detroit. He was born April 8, 1959 in Garden City. He was employed as a screw machinist operator at Tompkins Screw in Detroit.

The Rev. Roland Troike, of Timothy Lutheran Church in Livonia, presided at the service.

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Mrs. Faulds is survived by several nieces and nephews.

Dr. William M. Stahl presided at the service. Memorial contributions may be given to The First Baptist Church of Plymouth.

**DALE E. HILDEN**

Services were held for Dale E. Hilden, 31, of Detroit on Saturday, July 21 at R.G. & G.R. Harris Funeral Home in Livonia. Burial was at Parkview Memorial Cemetery in Livonia.

Mr. Hilden is survived by his wife, Helen Hilden of Detroit; one son, Michael Baldwin of Detroit; two daughters, Jacqueline Mitchell of Detroit and Sandra Hilden of Detroit; and parents, George and Geraldine Hilden of Plymouth.

Mr. Hilden died Wednesday, July 18 in Detroit. He was born April 8, 1959 in Garden City. He was employed as a screw machinist operator at Tompkins Screw in Detroit.

The Rev. Roland Troike, of Timothy Lutheran Church in Livonia, presided at the service.

**DAVID TUGMAN**

Services were held for David Tugman, 74, of Farmington Hills, on Thursday, July 19 at Thayer-Rock Funeral Home in Farmington. Burial was at Holy Sepulchre Cemetery in Southfield.

Mr. Tugman died Monday, July 16 in Farmington Hills. He was born June 1, 1916 in Detroit. He formerly lived in Detroit. He was employed as a powerhouse engineer at Stroh's, Chevrolet (Warren) and Goebel's Risdon Dairy. He was a former merchant marine on the Ford ships and former officer in the U.S. Navy. He was a member of VFW — Port Sanilac and American Legion.

Mr. Tugman is survived by his wife, Lois Tugman of Farmington Hills; daughter Mary Ann Check of Plymouth; two sons, David Parr of Livonia and Richard Parr of Westland; one sister, Ellen Biron of Fowlerville; one niece and seven grandchildren.

The Rev. Colum Morgan officiated the service.

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- How much is admission?
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Please provide the Observer with the name and telephone number of a person with whom we can verify the information.

If you are submitting a photo for our consideration, please keep in mind that black and white pictures reproduce the best. Snapshots of large groups don't reproduce well and aren't considered suitable for publication. As a rule we don't publish photographs depicting the presentation of checks or plaques.

If you want us to return a photograph, please indicate this on the back of the picture.

Identify people in the photograph from left to right and by their first names and surnames as well as by the towns in which they live.

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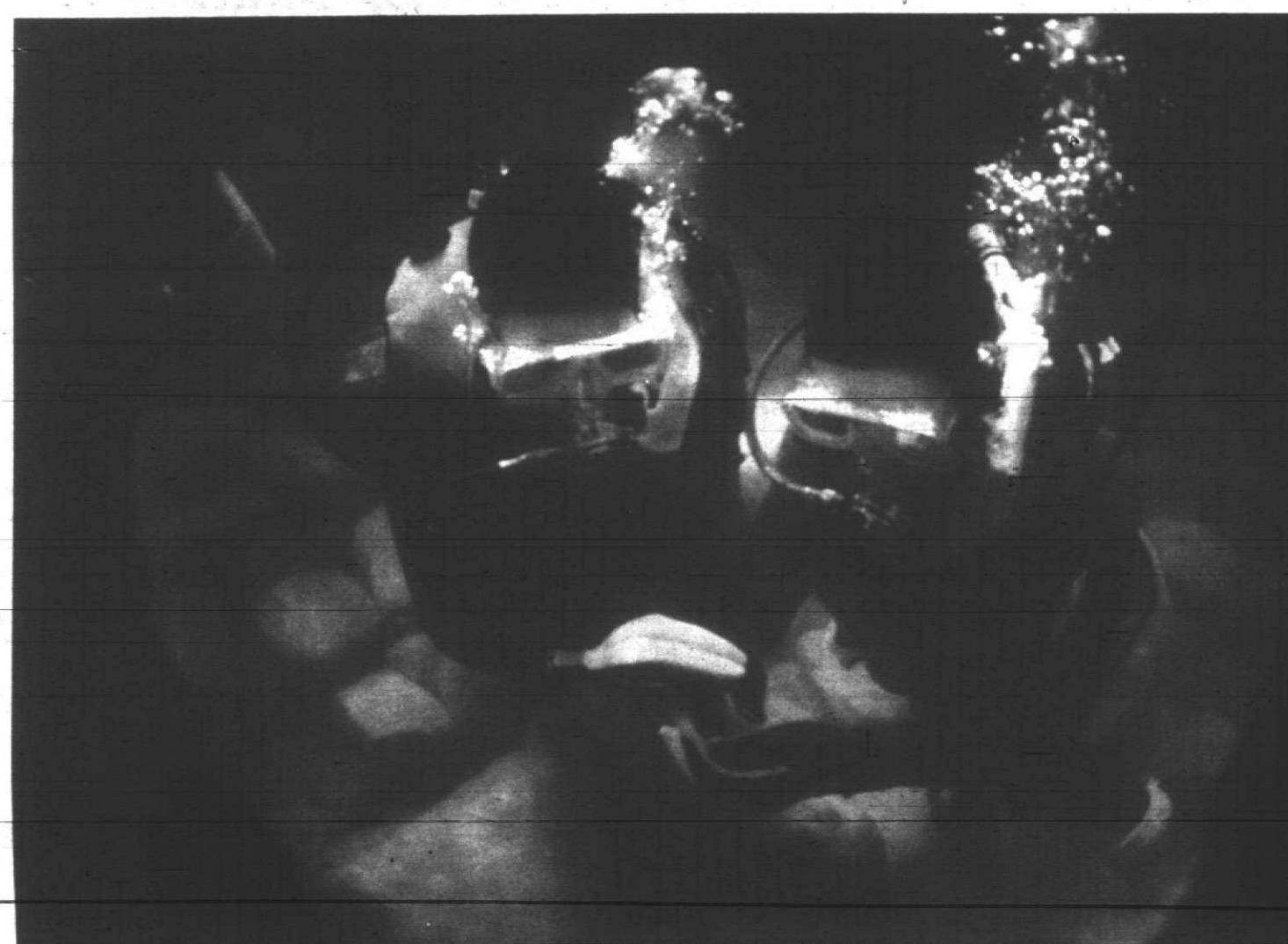
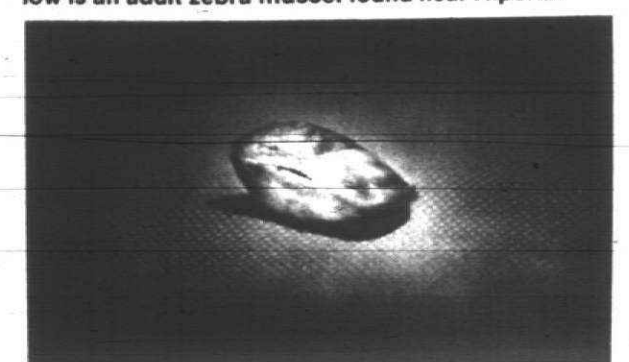
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Dawn found the Pride of Michigan, at left, ready and anxious to venture into northern Lake Michigan. Below is an adult zebra mussel found near Alpena.



Mary Blackburn, an OU student, and husband, Doug Hunter, an associate professor at OU, search the bottom of Lake Michigan for zebra mussels. With an abandoned lighthouse in the background, Thad Grudzien, below, keeps a firm grip on one of the snakes found on Poverty Island.

### Diverse crew sets its sail

By Pat Murphy staff writer

It was a diverse group on the Pride of Michigan as it sailed out of Escabana bound for the Poverty Islands in northern Lake Michigan. It was 6:05 a.m. on July 9, and the 31 people aboard included a botanist from Birmingham, a businessman from Farmington and a truck driver — and son — from Garden City. The ship's captain owns an appraisal business in Union Lake.

Differences faded, however, as the shoreline slipped into the background and the 80-foot boat made its way into the gentle swells of Lake Michigan. Those aboard the Pride were part of a project that teamed students and faculty from Oakland University with a crew of sea cadets jointly sponsored by the U.S. Navy and local businesses.

Part of the OU contingent was to study the biogeography of the islands, helping to determine, among other things, how plants and animals on the islands evolved differently from their counterparts on the mainland since the Ice Age.

Other OU scientists, headed by Douglas Hunter, focused on a more contemporary problem — zebra mussels, the bivalve mollusk that has been infesting the Great Lakes since the mid 1980s when flushed into Lake Erie with a ship's ballast.

THEIR MISSION was to track any larvae in the northern Lake Michigan like other teams were doing in other parts of the Great Lakes. Their data will be collected and analyzed as scientists in the U.S. and Canada formulate a strategy to combat zebra mussels which have bred rapidly with potentially dire consequences.

## In pursuit of science OU team tracks area changes

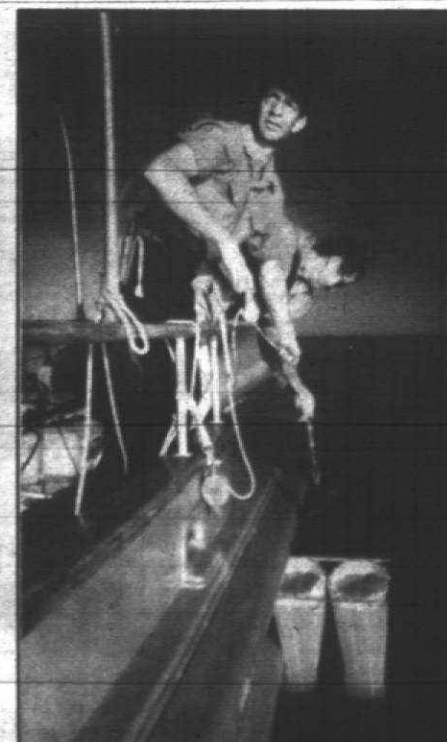
Since the time of Darwin, biogeography has provided major insights into factors influencing the evolution of plants and animals, said James R. Wells, an adjunct professor at OU and a botanist at the Cranbrook Institute of Science.

clers separated the islands from the mainland, plants and animals were very similar. By comparing samples from the islands with their counterparts on the mainland, scientists can detect evolutionary changes.

BRIAN HUEBNER, a biology major originally from Saginaw now living in Rochester Hills, pointed out that most at sea is a matter of careful observation. "The garden snakes we take home will be carefully studied to see how they differ from those on the mainland."

### Cadets hone skills

By Pat Murphy staff writer



Cadet Rob Allen on watch.

When OU scientists were sampling the waters of northern Lake Michigan for zebra mussel larvae, Cadet Rob Allen, 17, of West Bloomfield, played an important role.

He happened to be standing fantail watch on the stern of the Pride of Michigan as the OU team lowered nets into the water, one of dozens of samples they would take while tracking the troublesome pest from Europe.

the sea cadets while young Tom, 16, attends Garden City High School. "This is good time for us," he said.

staff photos by Jim Rider

# U.S. House approves large anti-crime bill

Here's how area members of Congress were recorded on major roll call votes in the week ending July 13.

### HOUSE

**TO ADVANCE TECHNOLOGY** — By a vote of 327 for and 93 against, the House sent to the Senate a bill (HR 4329) authorizing nearly \$1 billion over three years for technology to keep America a leader in technology.

The bill reauthorized the National Institute of Standards and Technology, which regulates weights and measures, and funded government research to benefit specific enterprises such as steel and fire control.

Its most disputed feature was funding of the Advanced Technology Program, which provides federal grants to help entrepreneurs develop new technologies. The bill authorized nearly \$400 million over three years for ATP, compared to only \$10 million annually recommended by President Bush, who prefers private funding of such ventures.

Supporter Robert Rose, D-N.J., said the government "cannot afford to wait one minute longer" to keep America competitive with the Japanese and Europeans.

Opponent Robert Walker, R-Pa., said spending too much on ATP means "trading off core research for essentially a new program that in some cases could be handouts."

A yes vote was for the amendment. All local representatives voted yes: Carl Pursell, R-Plymouth; Dennis Hertel, D-Harper Woods; William Ford, D-Taylor; Sander Levin, D-Southfield; and William Broomfield, R-Birmingham.

**DRUGS AND DRIVER'S LICENSES** — By a vote of 331 for and 88 against, the House adopted an amendment inducing states to suspend the driver's licenses of drug criminals. States not doing so would lose 1 percent of their federal highway funds. The amendment was attached to a fiscal 1991 transportation appropriations bill (HR 5229).

Supporter Gene Taylor, D-Miss., said "at times we have to forget about things like states' rights and address the horrible drug problem in our nation."

Opponent Tom DeLay, R-Texas, objected to "sort of a blackmail attitude of withholding federal highway funds because states do not pass certain laws."

A yes vote was for the amendment. Members voting yes were: Pursell, Hertel and Broomfield.

Voting no were Ford and Levin.

A yes vote support the bill. Michigan Senators Carl Levin-D and Donald Riegle-D both voted yes.

**FOOD HANDLING AND AIDS** — The Senate rejected, 39 for and 61 against, a proposal to remove those with AIDS from public kitchens. The proposal sought to make it legal under the Americans with Disabilities Act (S 933) for employers to transfer workers with communicable diseases from food-handling positions.

The vote occurred as the Senate sent the bill back to conference with the House. The issue was raised because Senate-House conferees had

### Roll Call Report

disregarded earlier votes in both chambers to keep restaurant employees with AIDS from handling food.

Jeese Helms, R-N.C., said restauranters should be able to transfer a kitchen worker with AIDS "who may cut his finger or otherwise contaminate the food."

Opponent Alan Cranston, D-Calif., said there is no scientific evidence that AIDS is transmitted through food, adding the amendment is based on "ignorance, prejudice, myth and fear."

A yes vote was to keep those with AIDS from handling the public's food. Both Riegle and Levin voted no.

**CIVIL RIGHTS AND CONGRESS** — By a vote of 63 for and 26 against, the Senate tabled (killed) an amendment giving congressional employees the same right as other citizens to sue their employers in federal court under a pending bill (S 2104) to outlaw job discrimination.

At issue was the tradition of Congress exempting itself from civil rights laws on the rationale that separation-of-powers insulates it from answering to federal prosecutors and judges. Congressional aides can sue administrative channels within Congress to allege discrimination.

Warren Rudman, R-N.H., who voted to table the amendment,

termed it important "to keep this Congress immune from the harassment of the judiciary and the executive."

Amendment sponsor Charles Grassley, R-Iowa, said Congress must "live by the laws that it... subjects the rest of America to."

A yes vote was to keep Congress immune from job discrimination law suits by its employees. Levin voted no while Riegle voted yes.

**TO LIMIT FOOTWEAR IMPORTS** — By a vote of 66 for and 32 against, the Senate preserved a plan to begin limiting imports of certain foreign athletic shoes.

Both Riegle and Levin voted yes.

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# Teachers go to school to study Rouge water quality



File photo

Earlier this month, teachers gathered at six study sites, observing fish, insect and plant life, as well as land use in areas near the river. Later, they checked the water for chemical traces.

By Wayne Peal  
staff writer

It's a typical school scene. Students, in casual clothes, file into class — laughing, talking with each other — carrying their days' homework in big looseleaf binders.

But this time, the students are teachers.

Some 30 area high school and middle school teachers have been out along the Rouge River this month, studying the western Wayne County river, then coming back to the University of Michigan-Dearborn to report their findings.

"WHAT WE'RE trying to do is put together a Rouge program for their students to use," said UM-D environmental studies professor Orin Gelderloos, who is supervising the

project.

Earlier this month, teachers gathered at six study sites, observing fish, insect and plant life, as well as land use in areas near the river. Later, they checked the water for chemical traces.

Teacher activities aren't a formal research project, such as recent river studies sponsored by the Southeast Michigan Council of Governments. Rather, they're a way of letting students know how such studies are completed.

"We're not talking about their (SEMCOG's) findings, but how they go about obtaining those findings," Gelderloos said.

By observation alone, teachers were able to determine the water quality near old Meads Mill in Northville was fairly good.

"We found larvae from black flies

and caddis flies," said Herm Boatman of Dearborn Edsel Ford High School. "That's a sign the water quality is pretty good."

Not all those involved are science teachers. Several social studies teachers are also participating.

Nor are the majority from suburban schools. While teachers from Bloomfield Hills and Birmingham's Hooper School are participating, about two-thirds of those involved teach in the Detroit Public Schools.

"IT'S IMPORTANT to show that people from an urban area do care about the environment," said Miriam Turner, who teaches at Renaissance High School, a magnet school for Detroit students.

There, student Rouge projects have drawn upon their talent in art, physical education and music, as

well as more traditional academic disciplines.

"The goal isn't to have a separate Rouge curriculum, it's to infuse the Rouge throughout the curriculum," Gelderloos said. "It's to incorporate the Rouge in science and social studies as well as other classes."

The class prepares teachers for participating in the larger Rouge study project brought to area high schools by Friends of the Rouge, the environmental group that also sponsors the annual Rouge cleanup.

"This brings them up to speed and, hopefully, they'll pass that along to their students," said Larry Coogan, Friends of the Rouge executive director.

That means students, when they return to class, will soon be out on the Rouge, following in their teachers' footsteps.

## House panel agrees on environmental bill

AP — A tentative agreement has been reached by a House subcommittee on a key environmental protection bill, although it lacks a source of funding and there's a long road ahead for the measure.

It's the first step forward for the "polluters pay" measure since it stalled in the state Senate more than a month ago.

Rep. Thomas Alley, D-West Branch and chairman of the House Conservation, Recreation and Environment Committee, said his subcommittee considered about 135 amendments to the approximately 50-page bill. The panel was made up of six House lawmakers, with six members from business or environmental groups providing input.

"We're very happy with the work of the subcommittee and the others appointed to get the bill moving," said Rick Jameson, deputy director of the Michigan United Conservation Clubs.

State Natural Resources director David Hales said he hadn't seen the compromise measure yet but "from what I can tell . . . I think a substantial amount of progress was made to have good, strong legislation written."

Jameson said the negotiated bill closely resembles the version spon-

sored by Sen. Lana Pollack, D-Ann Arbor.

### THE BILL:

- Holds responsible parties liable for the cost of cleaning up contamination.

- Sets procedures for allocating costs where several parties are responsible.

- Establishes a fund to pay for cleanups where no party can be identified.

- Gives the Department of Natural Resources more access to property and documents.

- Gives the attorney general new tools to seek reimbursement for cleanups.

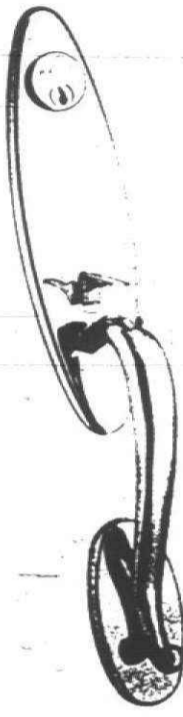
- Lets private citizens sue to force cleanups.

Several disagreements were settled.

A mediation panel would consist of seven scientists appointed by the governor with Senate confirmation to be consulted on technical matters when industry disputed a DNR cleanup order.

Under the allocation of cleanup costs, responsible parties would agree to a cleanup before having their liability limited under a "fair-share" method.

Small businesses could obtain loans to cover cleanup costs, if they correct whatever caused the contamination.




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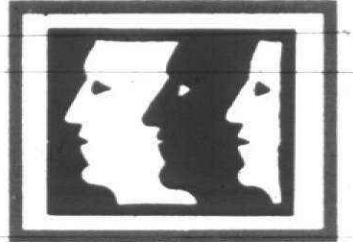
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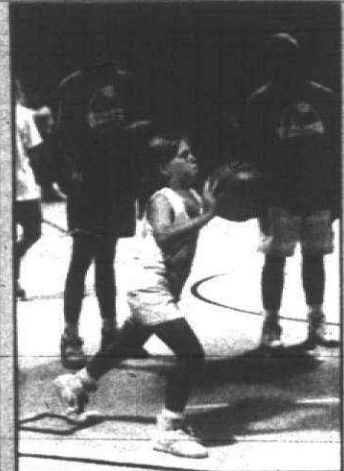
# Suburban Life

Julie Brown editor/459-2700



Thursday, July 26, 1990 O&E

(P.C.)18



Julie Price concentrates on doing the best she can at the basketball competition.

Staff photos  
by Bill Bresler

## Hotshots

### These young athletes are sharp shooters

By Julie Brown  
staff writer

Julie Price would like to play on a basketball team when she's a little older.

Julie, 10, is a fifth grader at Gallimore Elementary School in Canton. She's among local youngsters who participated in the "Hotshot Basketball" competition sponsored by Canton Parks and Recreation.

"I'm just trying to shoot from every square," said Julie, who is a Detroit Pistons fan.

In the competition, young people ages 9-18 shot from five spots on the court. They earned bonus points for attempting a shot from each square, and were required to keep

one foot inside the square while shooting.

"It's strictly a shooting skills program," said Bob Dates, recreation supervisor for Canton Township. "We always get a large turnout for the program. Basketball's very popular in this area with both boys and girls."

**PEPSI-COLA SPONSORED** the "Hotshot" program nationwide for a number of years, and recently discontinued its sponsorship. Canton Parks and Recreation staffers decided to continue the program locally, although winners no longer go on to state, regional or national competition.

"It was popular here in Canton,"

Dates said. Rules were kept the same as when Pepsi sponsored the program, and the competition was open to students from Canton and Plymouth.

Competition was divided into several age groups, 9-12, 13-15 and 16-18, with separate categories for boys and girls. Participants got one minute per round to shoot from five spots marked on the floor.

They got more points for shots made from a greater distance. Each participant was allowed a maximum of two layups per round, with two points for each layup. Students got to shoot two rounds, and the highest scorer in each group won.

"Some of these kids are real

good shooters," said Dates, who played some basketball in his younger days. In the past, some participants have gone on to state, regional and national competition.

"It's a little different experience for most of them," he said. "It gives them a chance to see how they'll do under a little pressure."

**SEVERAL SESSIONS** were held in recent weeks in Canton, including one at Hoben Elementary School, one at Eriksson Elementary School and one at Griffin Park. Overall winners were named, rather than choosing winners for each day.

This summer's program was coordinated by Dawn Selemba, an Eastern Michigan University student and summer program assistant for Canton Parks and Recreation.

Plaques were given to first- and second-place winners in each category, and each participant got a certificate.

Many of the students have played basketball elsewhere. Julie Price went to a basketball camp at Plymouth Canton High School.

"I did good in it," she said. Julie went to a basketball program at Schoolcraft College and heard Pistons star John Salley speak. Adrian Dantley, a former Pistons player, was at that program. Julie also met Dena Head, a former Centennial Educational Park basketball star, and got her autograph.

Nick Granger, 9, has some experience playing basketball. He's a fifth grader at Our Lady of Good Counsel School in Plymouth.

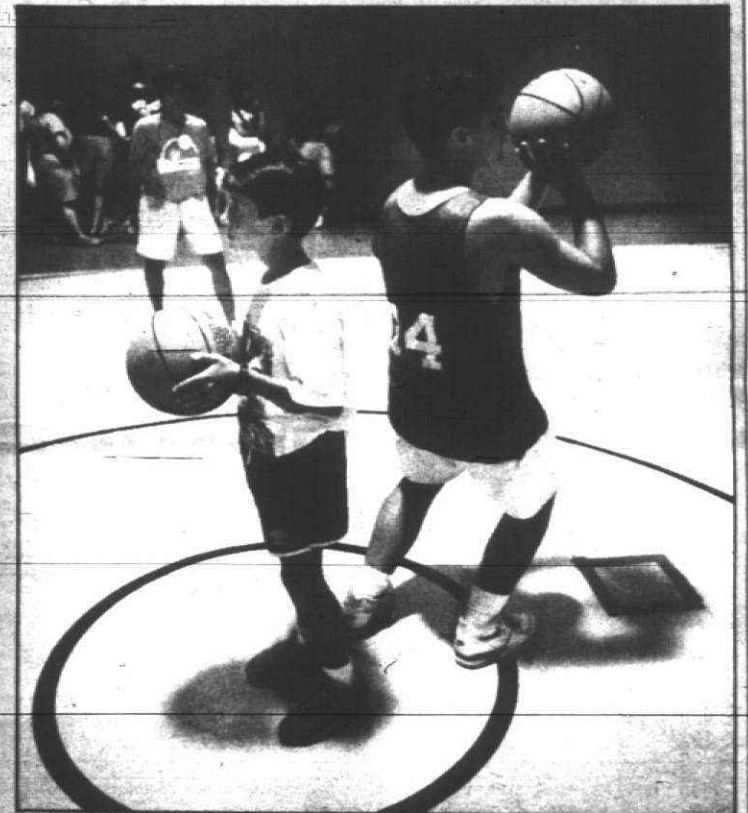
"I'm going to try out for our school team next year," said Nick, who is a Pistons fan. He went to a basketball camp at Catholic Central High School, and would like to play on a high school team a few years down the road.

Nick's strategy during the "Hotshot" competition was similar to Julie's. He tried to shoot from

Please turn to Page 3



Eric Cunningham takes to the court at Hoben Elementary School during the "Hotshot" competition.



Andy Power and Eric Bowers wait for Dawn Selemba's signal to start. Selemba, an Eastern Michigan University student, coordinated the "Hotshot" competition this year.

## She fights to uphold children's rights

By Larry O'Connor  
staff writer

**A WOMAN WITH BROWNISH**, red hair pulls out a bag of M&Ms and slowly puts a green one in her mouth. A few seats away, an older black woman talks about how she can't wait to see her three grandchildren.

"I'm trying to get custody of my grandkids," she says to another visitor. "But with me using drugs..."

A woman in a bright yellow dress with a black portfolio in hand coordinates the scene at the Orchard's Children's Services office in Southfield on this Wednesday morning, better known as BFV day. The acronym is for birth family visit, one of several Pam Molyneux uses in order to get through her day as a social worker.

But the problems of those in the waiting room are not easily summed up in two or three letters. Pam Molyneux knows only too well.

The woman who eats candy is about to see her son. The child was placed in foster care after her boyfriend physically abused him for wetting his diaper.

The other woman talking about her grandchildren is a recovering crack cocaine addict. She's there to visit the children, ages 9 months, 2 and 5 years, hoping to get permanent custody of the three — one who was born crack addicted and has a special monitor attached to her.

**TWO OF THE** children belong to a mother who is in a drug recovery program for crack addiction; the other child's mother is extremely limited mentally.

In each case, Molyneux tries to reunite child with birth parents.

Those are happy endings. — And in foster care, those are not written as easy as for a film or a book. Cases Molyneux deals with include incidents of drug abuse, physical and sexual abuse and emotional neglect. Often, those problems span many generations.

Somehow, some way, Molyneux is supposed to cut through all the years of dysfunctional pasts, connect all the wires, wave a wand and send everyone off as one well-oiled familial unit. Yes, happy endings.

Unfortunately, there are never enough of those in what's simply referred to as "the system." But there are just enough to keep social workers like Molyneux plugging away. The work week is 50 to 60 hours, starting pay is anywhere from \$14,000 to \$16,000 a year and the burn-out rate is extremely high.

For her efforts, Molyneux has been threatened and her judgment often scrutinized. She's been able to return children to the birth parent in four cases.

"You're never going to be 100 percent sure," said Molyneux, a graduate of Plymouth Canton High School.

"... Sometimes the clients call and say 'thank you' for all you've done. That's nice."

**LIKE MANY** who enter the field, Molyneux became a social worker with altruistic intentions. She was a student at the University of Michigan, studying law.

One day, Molyneux and her boyfriend were at the zoo when she spotted a child being punched by his mother. She followed the parent to the car, took down the license plate number and called Protective Services.

up serious child abuse. The child was promptly removed from the home and placed into foster care.

"I thought, 'If I can do this for one child and get him out of his misery...'" she said. "Plus, I love kids."

Love of children is one thing, curing a generation of social ills is another. After two years as a social worker, her determination hasn't waned.

In the system, the social worker plays all the positions. A friend to foster parents, a foil for attorneys, a foe to birth parents and, most importantly, a fighter for children.

On this day, Molyneux darts from one area of the Southfield office to the other. Some of the visits between child and birth parent are under total supervision, others are semi-supervised.

She moves across the office to the foster parent waiting area where she discusses a clothing allowance for one mother. In the hallway, she lifts a child to the drinking fountain, provides both SEMTA and DOT bus tickets in order for a family to get home and receives a hug from the grandmother for all her help.

**IN DEALING** with birth parents, she is empathetic without being sympathetic. She can be stern.

That can bring trouble from parents who often view the social worker as the evil person responsible for taking their child away.

"One time I had a woman waiting outside for me," Molyneux said. "She was waiting by my car. I was scared to death but I couldn't let her see that. I said, 'What are you going to do? If you touch me, you'll never see your kid again.' By then, security saw what was happening."

"Some of them are, 'Take my kids,

I'll take your life.' Some of them are hostile, especially when they are on crack. You can't take it personally because you know there are underlying problems."

After awhile, a trust develops. Molyneux works with the birth parents, having them sign a parent/agency agreement outlining what they have to do in order to get their children back.

Most are willing to adhere to the treatment plan. Others are defiant.

Between keeping tabs on two birth family visits, Molyneux talks to one mother's parole officer on the phone. Turns out she has tested positive for drugs and has three warrants out for her arrest.

**MOLYNEUX SHAKES** her head as she looks down at the notes scribbled on the small piece of white paper.

"I talked to her and she said she was clean," she said. "If I didn't call, I might've recommended that her children be given back to her in September with all the lies she was feeding me."

As the parents and children filter out of the office, Molyneux retreats to her desk. A mound of paperwork awaits her. She orders a salad for lunch and begins writing.

The second half of her day is spent in Wayne County Juvenile Court in Detroit. She will be asked to testify in a case where two children were placed into foster care and the mother wants them returned.

Molyneux describes the mother as extremely limited mentally and having epileptic seizures.

The mother's first child died at seven months due to medical neglect. As a result, the other two chil-

dren were placed as wards of the court.

"This one said, 'I'll keep having kids until I can keep one,'" Molyneux said. "I suspect she is pregnant again."

**MOLYNEUX RECOMMENDS** they go to a suitable relative instead of the mother.

She is promptly called to the witness stand. Attorneys representing the Department of Social Services, the mother and the child's father who recently escaped from Jackson Prison are present.

Questions pertain to home visits, parent/agency agreements. Molyneux is asked if she offered parenting classes to the mother, if she provided a means of transportation to those classes.

One attorney even asks if she has attempted to make contact with the birth father since his escape from Jackson.

Without hesitation, Molyneux answers all their questions. She describes the client's home as roach-infested and having no food. The mother objects.

Judge Frances Pitts keeps the children as wards of the court and adds they can stay with a suitable relative once a crib is provided. Molyneux smiles slightly at the result.

Afterwards, the client and the social worker meet. There is no hostility. Molyneux informs her of the birth parent visiting hours and tells her she'll send bus tickets.

"I assume you're going to be there," she said. "Don't let me down."

Another happy ending? Time will tell. For once, it's a case she and the judge can agree on.

There are days when the decision doesn't go her way.

"You have days like that, 10 million things go wrong," she said. "You throw up your hands. It's like a challenge."

"Besides if I quit or somebody else quits. What's going to happen to these kids?"



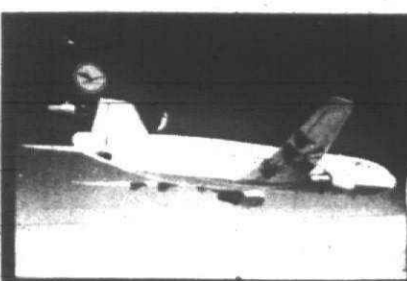
JERRY ZOLYNSKY/staff photographer

Paperwork takes up part of social worker Pam Molyneux's days at work. Molyneux, formerly Pam Layng, is a 1984 graduate of Plymouth Canton High School.



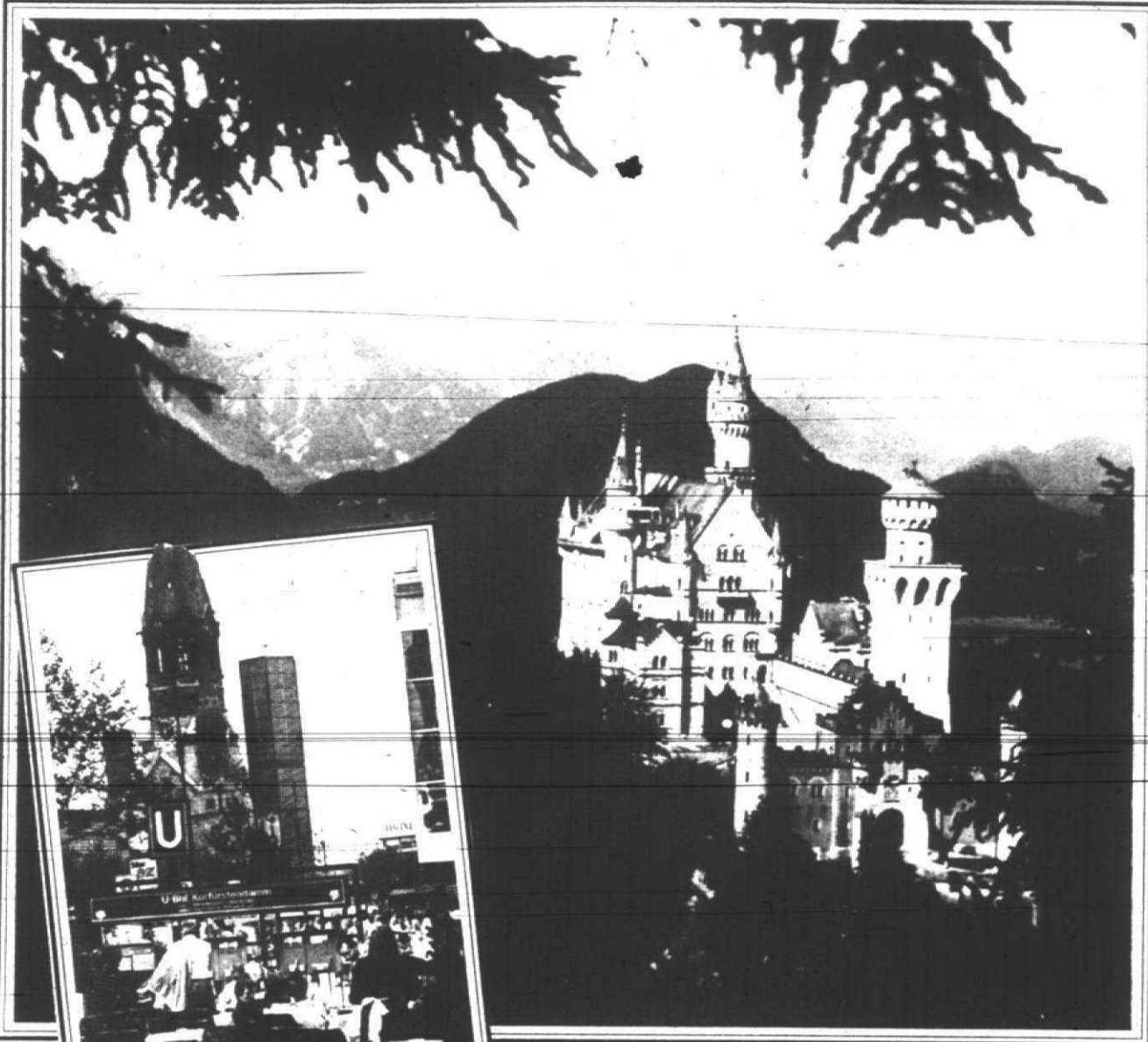






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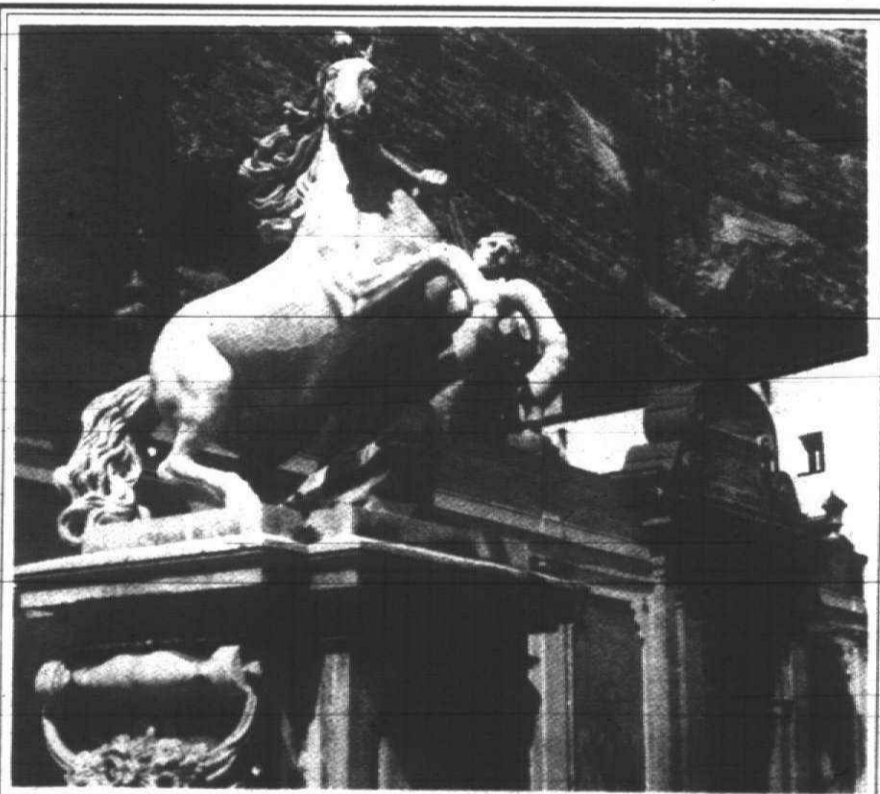


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**Day 7—Munich—Salzburg—Innsbruck**  
Morning drive to Salzburg, City of Music (pictured middle right, Horse-pond on Sigmudplatz in Salzburg). The Salzburg Province is a district filled with mountain ranges, snowcovered peaks, dense forests, lakes and streams and a number of picturesque villages. Your sightseeing includes the remarkable Residence, one-time home of prince-archbishops, charming Old Town, House of Mozart, Schloss Leopoldskron, the exquisite Cathedral, the Festival Theatre, Mirabell Palace and much more. B/D

**Day 8—Innsbruck—Neuschwanstein Castle—Liechtenstein—Lucerne**  
In the tyrolean capital, Maria Thersia's favorite city of the Austrian Empire, you will see the famous Golden Roof, the Hofkirche, 18th-century Imperial Summer Palace and the Imperial Chapel, built by Maximilian. You will visit the Neuschwanstein Castle (above), built by Ludwig II in 1870. You will proceed to Lucerne, magnificently set on the Lake of the Four Cantons. B/D

**Day 9—Lucerne**  
You will have a full day to enjoy one of Europe's best-loved lake and mountain resorts. Return to the Middle Ages as you stroll over covered bridges and pass picturesque 19th-century houses. You may want to lunch over fondue, take an optional mountain train and cable car up to Mt. Stanserhorn, or stroll the cobbled streets lined with marvelous clock and antique shops. B/D

**Day 10—Lucerne—Rhine Falls—Heidelberg**  
A full and fascinating day begins with a drive north to Schaffhausen and the Rhine Falls. Then into Germany's Black Forest and on to Heidelberg with its old castle and the university, immortalized in "The Student Prince." You will stop for panoramic views over the Neckar River with dinner that evening in an historic inn. B/D

**Day 11—Heidelberg—Rhine Cruise—Wiesbaden**  
This morning you will travel to Kamp and board the Rhine River steamer for a cruise by the legendary Loreley. You will pass fortresses dominating hilltops, charming Hamlets and patchwork vineyards. This is the Rheingold stretch; famous for its scenery. After disembarking at St. Goarshausen, you will proceed to Rudesheim, the most colorful and fun-loving village on the Rhine. Wiesbaden is next. B/D

**Day 12—Wiesbaden—Frankfurt—USA**  
Short drive to Frankfurt airport. Bid a fond farewell to romantic Europe as you depart with warm memories. B

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Guided city sightseeing in West and East Berlin (pictured above, right, the once infamous Berlin Wall) Highlights of the Western sector include Charlottenburg Castle and Brandenburg Gate. In East Berlin you drive along the Leipziger Strasse to the Russian Memorial. B/D

**Day 4—West Berlin**  
A free day and you won't want to miss the city's renowned two mile long shopping street, Kurfurstendamm (above) where more than 1,000 shops are filled with temptations for every taste. There is always something going on day and night.

**Day 5—West Berlin—Munich**  
Morning drive across the central parts of East Germany to Leipzig, one of its largest cities. Later, you will travel through the southern parts of the country, cross the border into Bavaria and its capital, Munich. B/D

**Day 6—Munich**  
Your morning sightseeing includes the Marienplatz, with its attractive architecture dating back to the Middle Ages. You will see tall gabled houses, the Cathedral and the Town Hall, where at 11:00 a.m. the Glockenspiel marks the hours as clock-driven red-coated figures dance to a traditional melody. You will shop in open-air markets and visit the 16th-century Nymphenburg Palace set in a flower-filled park. An afternoon of strolling and shopping will be followed by a memorable evening dinner at the Hackborkeller, one of Munich's well-known beer halls. B/D

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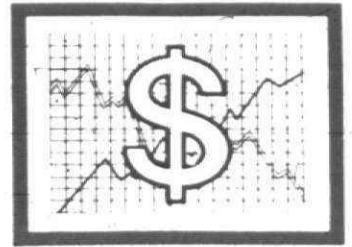
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# Business

Marilyn Fitchett editor/591-2300

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Thursday, July 26, 1990 O&E

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FILE PHOTO

The Oakland-Troy Airport and other smaller airfields in suburbia have the potential to experience more take-offs and landings with expansion at Detroit Metro.

## Small airstrips have room for more pilots

By Peggy Autino  
staff writer

Big airports are where thousands of people go each day to hop a commercial plane for business or pleasure. Little airports are where rich people go on weekends to fly for pleasure.

If you buy that statement, you don't know beans about general aviation. General aviation is the term those in the field use when referring to small aircraft, such as single- or twin-engine planes and jets under 12,500 pounds. And general aviation, those same experts will tell you, is an important part of the economy — especially the economy of suburban communities that depend on industry to strengthen their tax base.

Operators of general aviation airports in the suburbs say the planned expansion of Detroit City and Metro airports will not take business away from the smaller fields. On the contrary, the expansions will mean more room for commercial airliners but it may result in smaller planes migrating to the suburbs.

"I'm hoping that the people that are currently based in Detroit Metro, the smaller general aviation planes, will become customers and tenants of our airport," said Ken Pogue, manager of the county-owned Troy-Oakland Airport.

Anna Main, the owner of Big Beaver Airport in Troy, said it "remains to be seen" whether the expansion will have any effect on her facility.

"We have room to accept a little more traffic," said Main.

Oakland-Pontiac Airport is what's called a "reliever airport" for the bigger air fields, said manager J. David VanderVeen. That means it is already getting small aircraft traffic that might otherwise go to the Detroit airports.

"To the extent that general aviation leaves those airports, I suppose we would experience some growth from that," he said.

A STATE AERONAUTICS official said landing and hangar fees for general aviation aircraft were recently increased at Metro. That caused some small-aircraft pilots to bail out and head for the suburbs, said Richard Jackson, Assistant Deputy Director of the Michigan Aeronautics Commission.

Expansion plans call for the building of a new runway and another control tower at Metro. An existing runway will also be lengthened there. That work will be "phased in," Jackson said. Plans for the expansion of Detroit City Airport are incomplete, and improvements there

**'General aviation is the key to all business. We are the business and education side of aviation.'**

— Ashley Heimbaugh  
Mettetal Airport

are "quite a ways away yet," he said.

During the construction, some companies and private pilots may find it more convenient to use smaller airports. And, said Jackson, they may end up becoming permanent tenants.

Paul H. Jones, a private pilot and the director of public services for Plymouth Township, did research on air transportation in southeastern Michigan during his master's degree program. He compared small planes landing at Metro to "a slowpoke on the highway."

"It just slows down the whole process," Jones said.

SO LARGER airports would rather handle only large aircraft. That gets planes in faster and customers home that much sooner. But both Detroit airports are publicly owned, so they can't prohibit small planes from landing.

A Federal Aviation Administration study of air traffic conditions in the metro area concluded that general aviation planes should be given alternatives to the large airfields. But the powers-that-be have yet to decide where small aircraft should be encouraged to go.

It is possible that Mettetal Airport, a privately owned field in Canton Township, will not be available to handle any landings or takeoffs. The owner of that field has indicated the operation is not profitable and it may be sold.

But Ashley Heimbaugh, who operates Mettetal, is hopeful for its future.

"We are the last private airport in Wayne County," Heimbaugh said. "One hundred-thirty aircraft are hangared here. There are five business flights daily."

"General aviation is the key to all business. At big airports, commercial airlines carry people. We are the business and education side of aviation."

Please turn to Page 2

## High-tech business doubles in Oakland

By Mery Rodrigue  
staff writer

The number of Oakland County high-tech firms with an emphasis on research and development nearly doubled during the 1980s, according to a new directory of Michigan high tech firms compiled by University of Michigan researchers.

Produced by the U-M Industrial Development Division, the "Directory of Research, Development and Testing Capacity in Michigan: 1990" includes information on 376 companies based on their responses to a written survey.

Oakland County saw an increase from 61 to 112 high-tech firms during the previous decade, according to the survey. Wayne County experienced a slight decrease during the same period, from 67 in 1984 to 64 in 1989.

"Oakland County has worked hard at developing land. There are more than 10 industrial parks in the county developed exclusively for high-tech firms," said Jeffrey Stuit, a U-M research associate who worked on the directory.

Despite the slight decline in Wayne County, Stuit called that market stable and cited Metro West Technology Park in Plymouth as an excellent example of a first-class, high-tech industrial park.

THE THREE key elements for development are available land, a good labor force, and markets, Stuit said. Proximity to university research centers and auto production were also cited.

"We figure there's definitely an economic base of employers (in Oakland County) selling goods or services out of the area. They are good at bringing money in," Stuit said.

Joseph Joachim, Oakland County Director of Economic Development, wouldn't argue with that assessment.

"We see continued growth," Joachim said. "U-M has an economic model for Oakland County. Their

**'Oakland County has worked hard at developing land. There are more than 10 industrial parks in the county developed exclusively for high-tech firms.'**

— Jeffrey Stuit  
U-M

forecast projects another 48,000 new private sector jobs in 1990-91. We're seeing that trend. Obviously if there is a serious change in the national economy, it will have some impact. We still feel quite comfortable."

Although most of the high-tech companies are auto-related, there are several different types of research and development facilities, such as Rockwell International, Compuware and BASF Chemical. Many employ hundreds of workers and help to diversify the nature of the parks, Stuit said.

"I CAN think of at least two major firms, Electronic Data Systems and GMF Robotics, which have as their goal 50 percent non-auto-related business," Joachim said. "That holds true in many other firms. The industries are diversifying themselves."

Another boost to research and development firms has been the amount of automotive research, development and engineering jobs contracted out to suppliers by the Big Three and other major car companies.

"DuPont and GE Plastics grew from mere sales offices to major research and development and engineering facilities," Joachim said.

Also making Oakland County attractive to companies — its pool of

highly educated workers and an ability to attract new young talent from across the country, Joachim said.

Washtenaw County also saw an increase in the number of high-tech firms over the previous decade, from 68 to 97.

"More than 580 companies responded to the survey, but only those with research and development testing facilities, significant numbers of engineers or scientists on staff, or a major focus on research and development were included," said Michael Conboy, research program manager for the Industrial Development Division in the U-M College of Engineering.

ONE DRAMATIC increase illustrated in the directory is growth in technology parks near the state's research universities. In 1970, Michigan had only three research parks with less than 400 acres. The 1990 directory lists 33 high-tech industrial parks in 15 counties totaling nearly 7,000 acres.

Michigan's technical diversity is reflected in more than 100 specialty categories of products, processes or services listed in the U-M directory. Highest number of responses were for computer software, computer related services and automotive equipment.

In the academic section of the directory, 69 major laboratories in 15 universities list their research capabilities, equipment and scientific personnel.

Preparation and printing of the research and development directory was funded by U-M and the Michigan Department of Commerce.

"This directory is a great vehicle for helping our state's firms get in touch with Michigan's abundant research, development and testing capacity," said Mark Murray, director of the business research office in the Michigan Department of Commerce.

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campus news

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CITY OF PLYMOUTH, MICHIGAN PRIMARY ELECTION OF AUGUST 7, 1990. NOTICE IS HEREBY GIVEN that a Primary Election will be held in the City of Plymouth, Wayne County, Michigan on Tuesday, August 7, 1990 from 7:00 a.m. until 8:00 p.m.

campus news

Continued from Page 6 Science Olympiad, two silver medals, Wayne County Executive, academic excellence award, German National Honor Society, award for excellence in German...

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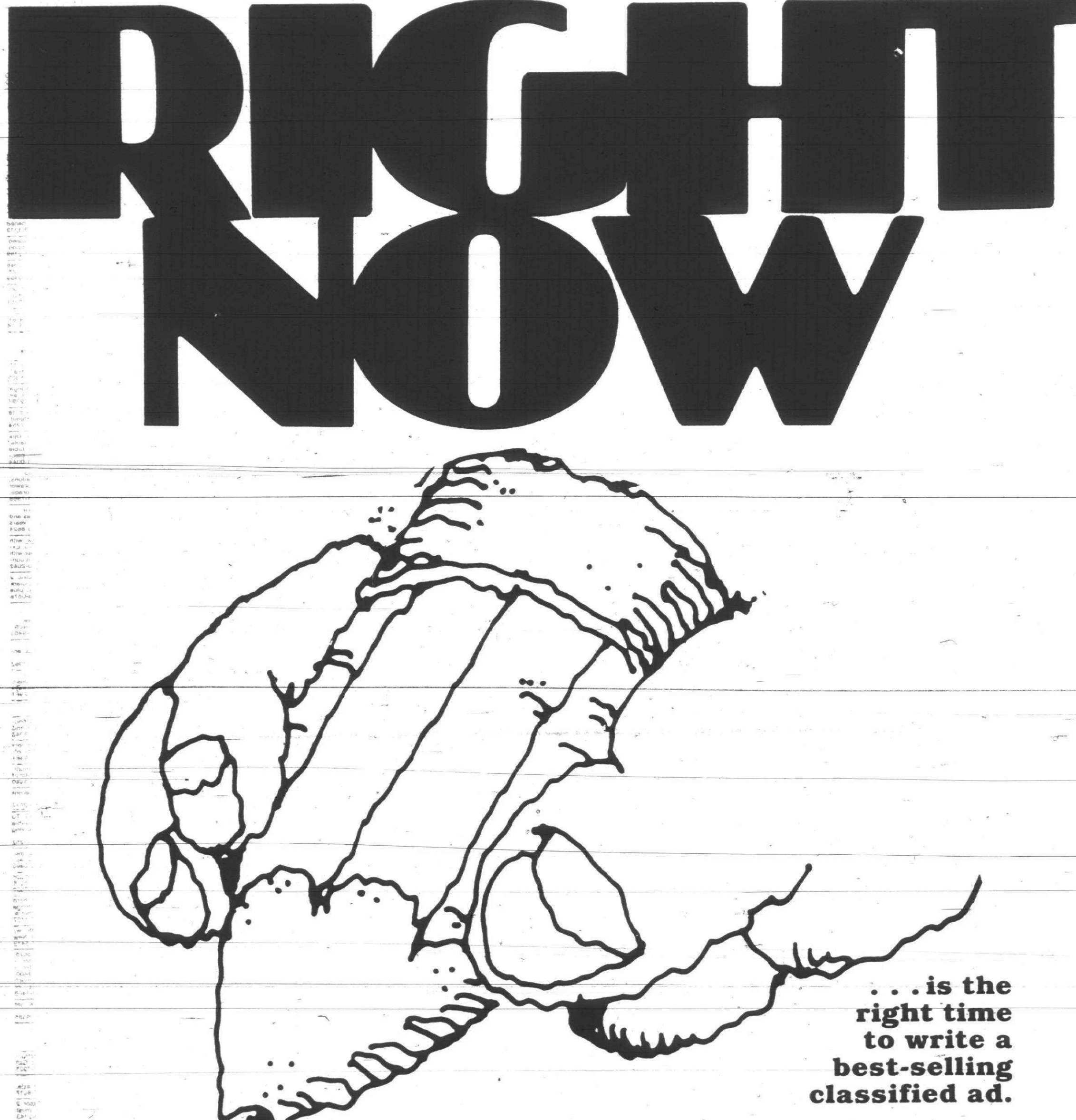
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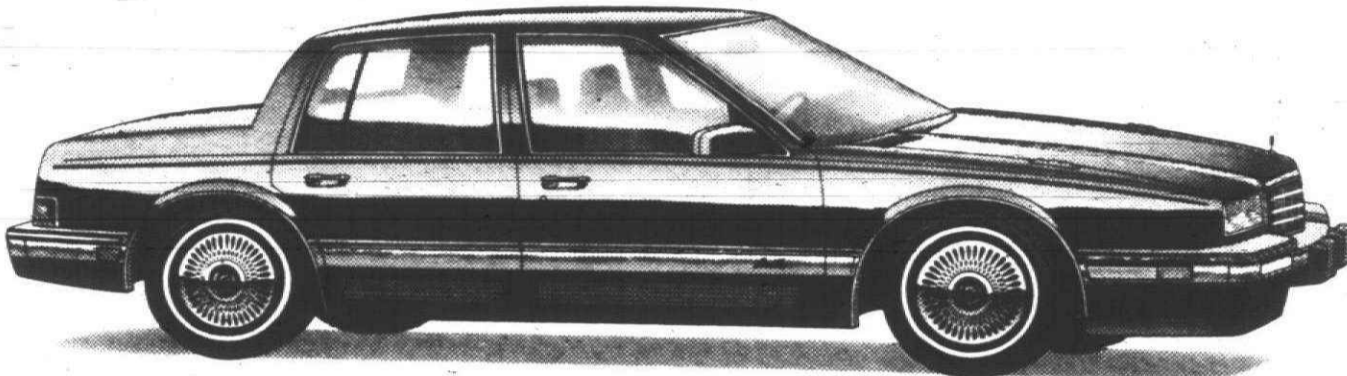
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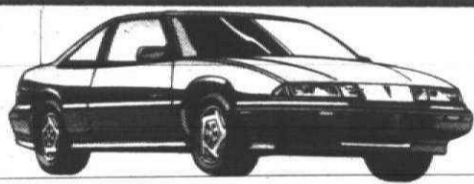


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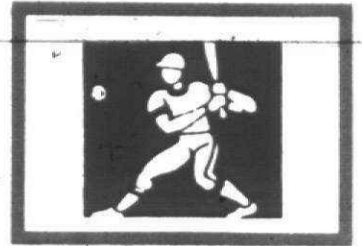
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# Sports

Dan O'Meara editor/591-2312



Thursday, July 26, 1990 O&E

(P.C.10)

## Mustangs begin reign as state champs

The Mid-America Mustangs defeated their arch rival, Osburn Trucking, in back-to-back games Sunday to win the girls 13-14 softball state championship.

Having lost to Osburn earlier in the tournament, the Mustangs came through the losers bracket to face their nemesis in the final.

Needing two wins to take the title, Mid-America handed Osburn its first loss 8-7 and won the second game 10-8.

The Mustangs turned three double plays in the last game, including one to shut the door on Osburn.

With one out and runners at first and second, second baseman Jenny Garvey fielded a ground ball and tossed to shortstop Cindy Lehnis for the force at second.

After stepping on the bag, Lehnis dropped

the ball but threw to catcher Sarah Rowe for the putout on the lead runner at home plate.

**MOE DRABICKI** was the winning pitcher in each of the final games against Osburn and had plenty of hitting support.

In the title-clinching second game, Jenny Horosko was 3-for-4 with two RBI, and Lehnis had two hits and two RBI. Stacy Fields drove in a run with a triple, and Dani Mortiere chipped in two RBI, also.

Drabicki also was 4-for-4 in the first game, and Fields and Lehnis had run-producing triples. Jamie Cook scored the winning run on Mortiere's groundout.

Mid-America opened the tournament with an 11-2 victory over Clinton Valley. Horosko went 4-for-4, and Lehnis and Michelle

### softball

Bohnke had three hits in as many trips to the plate.

Lori Thomczek got the first of three pitching victories.

The Mustangs fell into the losers bracket after dropping a 10-6 decision to Osburn in their next game. Drabicki suffered the loss but had two hits as did Horosko, Lehnis and Mortiere.

**HOROSKO, WHO** hit .813 through the

first four games and had three or more hits in four of the six games, and Lehnis had two RBI apiece.

Kate Strahan belted a two-run homer in the next game to help make a winner again of Thomczek as the Mustangs edged the Hollywood Bodies 11-10. Horosko went 3-for-4 and Britta Anderson had two hits.

Mid-America followed that victory with 8-4 and 11-8 wins over Garden City and East Detroit to earn the right to face Osburn Trucking again.

Stacy Movinski pitched four innings of scoreless softball against Garden City, and Horosko had another 4-for-4 game. Garvey and Fields had three-base hits.

Thomczek got her third win against East Detroit with Fields being the hitting star,

going 4-for-4. Mortiere, Horosko and Karen Jose chipped in two-base hits.

The Mustangs, ranked among the top 20 teams in the country, leave Monday for the world tournament in Oklahoma City, Okla.

"This is the cream of the crop coming up," said Ron Movinski, one of the Mid-America coaches. "These are the four-year, waiting-in-the-wing girls coming up."

The 17-player roster includes Movinski, Garvey, Stephanie Long, Thomczek, Mortiere, Rowe, Stacy Sinke and Tara Wasiak of Canton; Horosko of Garden City; Anderson, Lehnis and Strahan of Plymouth; Drabicki and Jose of Livonia; Fields and Cook of Westland; and Bohnke of Farmington Hills.



ART EMANUELE/staff photographer

### First victory

The Wildcats (dark uniforms) took their first victory of the season Tuesday night in the Metro Summer Hockey League, defeating the Lakers 8-3 at the Plymouth Ice Arena. Don Rugg scored two goals to lead the Wildcats. The MSHL regular season continues through Monday. The playoffs begin Tuesday with the championship game scheduled for Tuesday, Aug. 7. See Page 3D for details of the latest games.

## Prep all-stars put talents on display

By Jim Toth and Steve Kowalski staff writers

A check of the calendar says it's way too early to be butting heads on the football field. Especially in actual game situations.

That will be the case, however, Saturday at Michigan State University's Spartan Stadium when 88 of the top high school graduates from last spring don helmets and pads for the 1990 Michigan High School East-West All-Star Football Game.

The game, televised on PASS, begins at 1:35 p.m. Tickets are \$6 and may be purchased at the gate.

Divided into two squads of 44, the 10th annual affair will provide the West team an opportunity to dead-lock the series at five wins apiece. The East took a one game series advantage with last year's 31-26 win.

"They say they do get pretty intense," said ex-Birmingham Brother Rice standout Steve Morrison when asked of what to expect from the game. "Close games are not boring, they're always exciting. It should be fun and I'm looking forward to it."

**MORRISON, A 6-FOOT-3, 220-pound** linebacker who will pursue his gridiron career this fall at the University of Michigan, is one of 13 Observer & Eccentric-area players named to the East squad. Only one player from a school can be picked to play in the all-star classic.

Last year (Rice grad) Marc Millia made it and I thought it was pretty cool," explained Morrison, who follows a long line of Rice graduates who have played in the game. "We had really good guys on our team this year and I wondered if I'd make it. It's a lot of fun for everybody and builds a lot of football for the state of Michigan."

Joining Morrison on the East squad will be Ryan Bell (Redford Catholic Central), Ian Coleman (Troy Athens), Mill Coleman (Farmington Hills Harrison), Mike Cowen (North Farmington), Craig Fischer (Rochester Adams), Larry Johnson (Wayne), Ryan Johnson (Plymouth Salem),



Ryan Johnson, former Salem standout and Eastern Michigan recruit, will play in the annual all-star game Saturday.

Nick Kiffner (Walled Lake Central), Marc Mitchell (Troy), Mike Montico (Country Day), Dennis Parker (Redford Bishop Borgess) and Eric Stover (Westland John Glenn).

The East coaching staff will also have an O&E look to it with Chuck Apap of Walled Lake Western and Bob Satter of Harrison part of the six-man contingent.

Morrison, Mitchell, Montico, Fischer and Ian Coleman each enjoyed stellar senior campaigns, helping their respective squads to a combined 37-13 record and earning Eccentric All-Area first team honors.

**MONTICO PLAYED** quarterback and safety for Country Day, but will play cornerback for the East.

He's looking forward to the challenge.

"We have two good solid quarterbacks who throw the ball pretty well

### football

so it's an honor just to be here," said Montico, who will play football and baseball at Albion College. "Being a free safety in high school meant I was always free to do what I wanted and could fly up on the run. Being a cornerback I have to keep up with the speed demons from the West. It'll be a little different. I'm not used to being up on the line."

Mitchell, who is listed at 6-5, 195 pounds, said he hopes to see action offensively, where as a senior, he snared 20 passes for 387 yards and five touchdowns for the Colts. Realistically, he knows that will not be the case.

"I'd like to play some offense, but they said I'm going to play free safety," Mitchell said. "I'll play defensive back, though. I'm looking forward to it because a game like this shows off the best players in the state."

**IAN COLEMAN** will provide some bulk up front for the offensive unit with his 6-2, 225-pound frame, while Fischer, when called upon, will look to get his teammates out of trouble, utilizing his right leg that averaged more than 41 yards per punt his senior season. Included in Fischer's efforts were four punts of better than 60 yards.

Ryan Johnson, of Salem, also is settling on the defensive side of the ball after playing both fullback and linebacker in high school. Johnson, headed for Eastern Michigan University on a football scholarship, has extra incentive in playing Saturday's game.

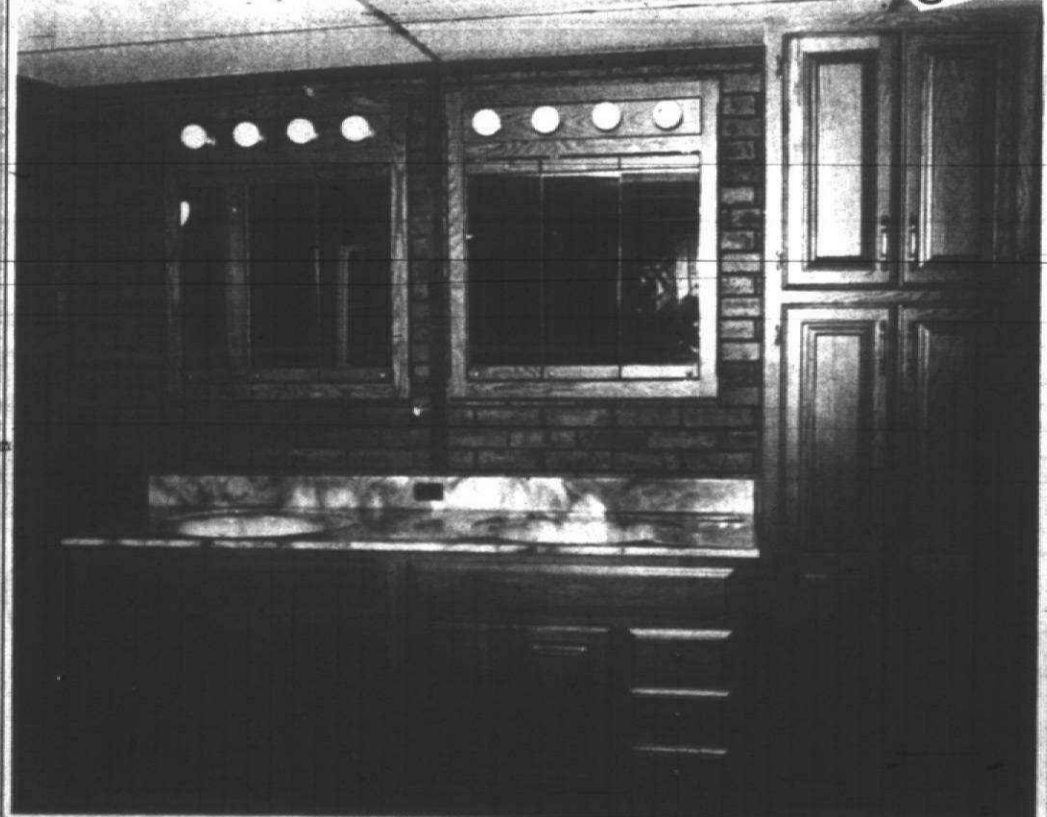
"I know a lot of players on the West team, playing little league with them as a 7 year old when I lived near Grand Rapids," said Johnson, a 6-2, 216-pounder. "Unfortunately, they play defense, too, so I can't play

Please turn to Page 2

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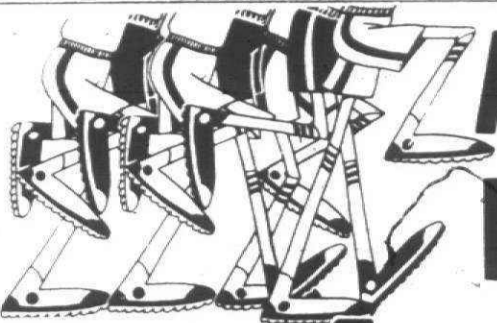






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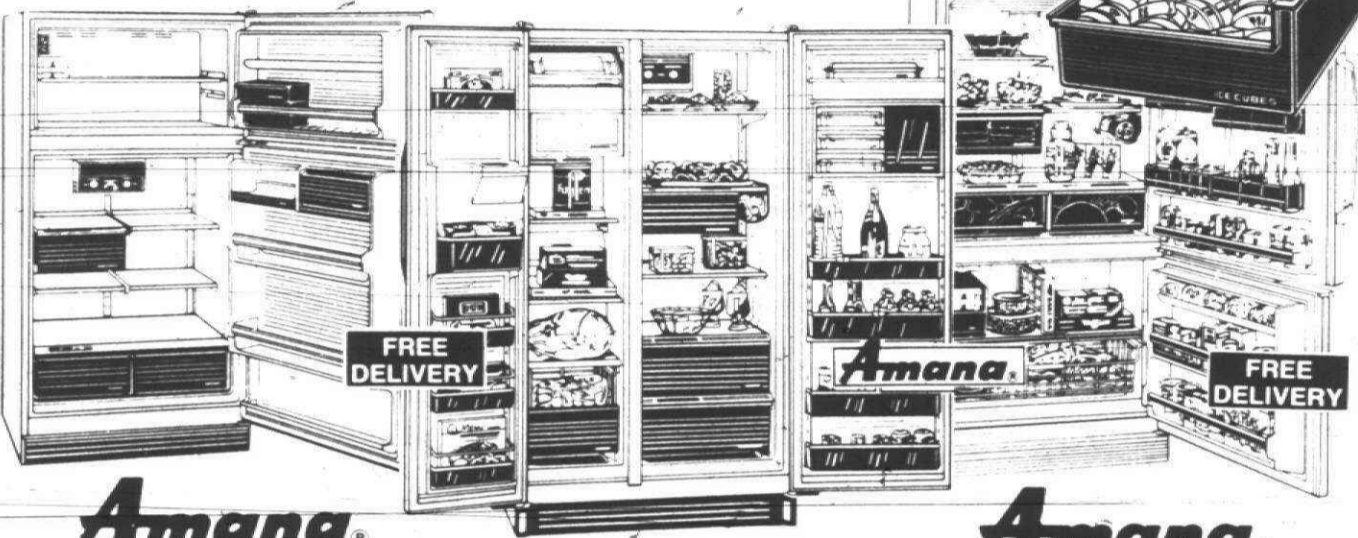


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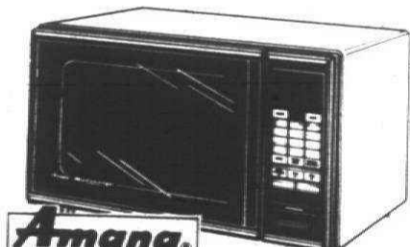
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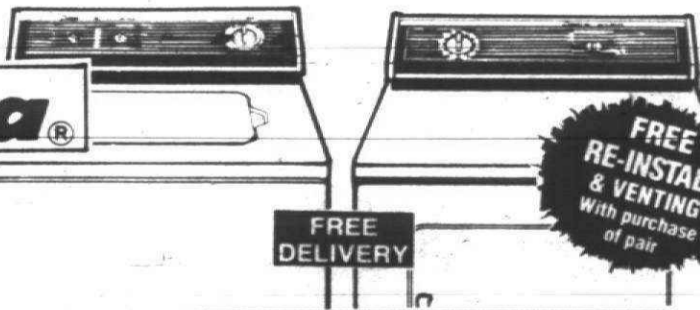
Features 500 watts cooking power, 10 power levels, electronic touch controls, clock/timer, .6 cubic foot usable oven space, strong warranty protection. Model C64TMA.



##### Amana Free-Standing Electric Range

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<p><b>13" Diag. COLOR</b></p> <p>Super Value 13" Diag. Color Television <b>\$148</b></p> <p>Rotary tuning, comb filter for superior resolution and color, ear-phone jack, AFT &amp; AGC, clean white circuit, black finish. 13CNR-E</p>	<p><b>25" Diag. COLOR</b></p> <p><b>FREE DELIVERY</b></p> <p>RCA 25" Diag. Console Color TV With Remote <b>\$388</b></p> <p>On-screen operating and status displays, 147-channel capability, picture reset, automatic cable/air switching. Model G25043TN</p>
<p>Programmable VHS Wireless remote</p> <p>Video Cassette Recorder With Remote <b>\$169</b></p> <p>Full auto power system, wireless remote, 111-channel cable compatible tuning, 1-touch recording, programmable 7-day/2-event timer.</p>	<p><b>HITACHI</b> 6:1 power zoom</p> <p>High speed shutter</p> <p>Hitachi VHS Camcorder With 10W Light <b>\$899</b></p> <p>10w cordless movie light, CCD image sensor, 3-lux sensitivity, 6x1 zoom, flying erase head, variable high-speed shutter. VM2270A</p>
<p><b>SONY</b></p> <p>Sony Cassette Stereo Tape Deck <b>\$7999</b></p> <p>14 to sell</p> <p>Dolby B/C noise reduction, high density heads, direct coupled electronics, soft touch controls, dual VU meters, auto stop. TC-FX110</p>	<p><b>KENWOOD</b></p> <p>Kenwood Series 11 Stereo System <b>\$999</b></p> <p>5 to sell</p> <p>Optical CD output, built-in surround amplifier, 12 band equalizer, auto reverse dual cassette, Dolby B/C, fully automatic turntable.</p>
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<p>Quality Processing by <b>Kodalux</b> Processing Services</p>	<p>Your Choice Of Photo Processing Specials</p> <ul style="list-style-type: none"> <li>• 4x6 prints for the price of 3x5</li> <li>• 2 prints for the price of one</li> <li>• X-trs dollars off</li> </ul> <p>12 exp. .... \$1<sup>00</sup> OFF 24 exp. .... \$2<sup>00</sup> OFF 36 exp. .... \$3<sup>00</sup> OFF</p>

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# Creative Living

CLASSIFIED REAL ESTATE



Bob Sklar editor/591-2300

Thursday, July 26, 1990 O&E

(P.C.W.G)1E

## Life partly nomadic for serious crafters

By Gerald Frawley  
staff writer

**T**HE HUSTLE and bustle of a country bazaar, the smell of roasting almonds and cotton candy in the air, the toot of wooden whistles and the howling of organ music intermingle in a cacophony and commotion of crafters selling their wares.

Like the crafters and artisans of old, they get up before dawn — they may not pack the wagons and hitch up the horses like they did during the Middle Ages, but a nomadic hint remains in the life of a crafter.

Sue Smith of Canton Township knows the show circuit well. A veteran crafter and a crafts show promoter herself, she has seen everything from the small church bazaars to the huge country crafts shows during the past 15 years.

She has worked her canopy in the rain, has chased her canopy as it tumbled down the street in the wind, and has seen her tarpaulin ripped asunder and her inventory thrown to the ground.

But she keeps coming back.

**SMITH SELLS** spice wreaths, a decorative band that's both pleasing to the eye and packs a striking aroma of allspice, nutmeg, cloves, star anise, stick cinnamon and



SHARON LEMIEUX/staff photographer

Canton Township resident Sue Smith sells spiced wreaths at the Farmington-Farmington Hills Founders Festival July 13.

ginger root, to name just a few.

"It's definitely the smell that grabs the customers' attention, but it's also the fact that it's different. They've never seen anything quite like it," said Smith, while exhibiting at the Farmington-Farmington Hills Founders Festival in downtown Farmington July 13.

A simple, yet disarming idea, the spice wreaths — which range in price from \$13 to \$23 — are shaped like circles, ovals, and single and joined hearts.

"I've never seen anyone else do something like this," Smith said, adding that she has applied for and received a copyright for the idea.

There are 11 steps to making the spice wreath, Smith continued. They begin with her partners and parents, Ed and Bernice Fuller of Greenwood, S. C., cutting the polystyrene-foam base and attaching "sweet gums" — an exotic-looking burr found in their area — which

Please turn to Page 5

## History book well done; house is worth restoring

TYING UP some loose ends:

● **Worth reading** — It's a terrific history book and a darn good read.

So I leaped at the chance to write a letter supporting the Farmington Hills Historical Commission in nominating "I Went to the People" by Fred M. Warner, Progressive Governor," by Jean M. Fox, for a Historical Society of Michigan Award.

As a local historian and author, Fox, current Farmington Hills mayor, has few equals.

Not surprisingly, she's channeling all proceeds from the sale of the \$24.95 hardback to the Farmington Hills Historical Commission's book development fund.

A stickler for accuracy, Fox, a newspaper publisher by trade, shuns historical liberties in telling the story of Farmington's favorite son, Fred M. Warner, a Republican Party leader who always remained a business and civic leader back home.

**NOBODY'S PUPPET**, Warner moved from the state Senate to Secretary of State under Gov. Hazen Pingree in 1901. From 1905-11, he was Michigan's first three-term governor, never shying from legislative battles to see needed reforms.

A master storyteller, Fox weaves a scholarly topic into magazine-style reading. Many parts of Warner's life and times date back to the turn of the century. But Fox colorfully captures them.



Bob Sklar

Amazingly, Fox's book on Warner provides the first definitive picture of a 40-year-old governor who fought for "the enactment of legislation designed to supply the needs and safeguard the interests of other people."

Two of Warner's top achievements as governor were the direct primary voting system and the direct nomination of Michigan's U.S. senators.

He also tightened control of public utilities, insurance companies and the railroads; encouraged the dairy industry as well as factory inspections and purer food products; established remunerative labor for prison convicts; and curbed stock manipulation.

His administration pushed for the first state highway department and for the Public Domain Commission, today's Department of Natural Resources.

In 1911, the English-born foster child of Rhonda Botsford Warner and P.D. Warner "resumed life in Farmington with the affection and interest with which he always bore his hometown," Fox tells us.

Without Fox's flair for research

and writing, these mile markers on the Michigan landscape might never have come to life for the many folks who shy away from textbook histories.

● **Looking ahead** — By next year, the Livonia Historical Commission hopes to open its newest restoration project at Greenmead: the former family home that stood next to the A.J. Geer General Store at Newburgh and Ann Arbor Trail.

The four-room, 900-square-foot bungalow, now situated across from the restored Newburg Church, will be moved next to the restored general store. The Geers lived in the house for a short time after it was built in 1913. It was moved to Greenmead in 1979.

"We restore one building at a time," says commission chairwoman Sue Daniel. "When we get one open, we go on to the next."

Restoration is a slow process that's dependent on funding. The commission is supported by the city and donors. It oversees planning but contracts out most construction work.

Work doesn't come cheaply. The Geer House will cost upwards of \$70,000 to restore.

But when opened, it will represent another jewel in Livonia's historical village at Greenmead.

Bob Sklar is the O&E's assistant managing editor for special projects.

## Wanted: volunteer museum docents

By Loraine McClish  
staff writer

**D**ICK CARVELL is looking for volunteer docents for the Farmington Historical Museum: gardeners to care for the spacious grounds of former Gov. Fred Warner's home and folks who can do small maintenance repairs.

"Large repairs, like the new porch railing that is being restored by the Quakertown Questers, would be taken care of by an architect," he said.

"If you're talking 40-foot ladders, we have professionals for that. We need someone handy with small repairs around the house and who we can call on," said Carvell, chairman of the museum committee and spokesman for goings-on at the 123-year-old home.

"We've never had a paid employee," the Farmington resident said. "If something goes on we can't handle, we call a Department of Public Works employee, who is the only paid person we've ever had on the premises."

"Take that back. We tried professional maid services once and that just didn't work. They did a good surface job, but you have got to like that antique before you're going to give a good polish job to it. The people who do come in to polish for us enjoy it."

**CRITERIA FOR** any of the volunteer jobs, but especially the docents, Carvell says, is: "People who feel free with people, a liking for antiques and history, and a liking for passing it along."

About 30 docents are needed to take care of the visitors who come to tour the house and grounds, at 33805 Grand River, west of Farmington Road.

The number of docents is going to about 20 while the number of guests steadily increases. The Civil War-era house is an example of Victorian Italianate architecture. The Warner family decided it to the city of Farmington as a museum in 1980.

"The school groups are getting heavier. There are more club groups coming through. Of course, we encourage them to come on Wednesday afternoons when we are open, but for some reason that doesn't seem to happen," Carvell said. "That scheduling, to handle one group, would be about two hours' time."

The time that Carvell, who retired from Michigan Bell in 1981, gives to the museum is about five hours a week: "never mind the phone calls."

"Just the phone calls that have to do with a wedding in the gazebo; I wouldn't venture to guess — and that is one very good reason I need more volunteers to call on."

"Who is going to take care of the



This sketch of the Gov. Warner mansion, as it appeared in the early part of the century, shows the over-the-porch railing that will be restored, thanks to the Quakertown Questers.

### Balustrade to be restored

Quakertown Questers has received a grant from the International Organization of Questers to be used to build a balustrade for the front-porch overhang at the Farmington Historical Museum in downtown Farmington.

Restoring the exterior with the balustrade will make the 123-year-old, two-story home appear the way it was when Fred Warner lived there as Michigan's first three-term governor, 1905-11. The home's architecture is an example of Victorian Italianate.

John A. Allen Architects of Farmington will do the restoration work.

Quakertown Questers received the grant during a Questers convention in Philadelphia, where the Questers International headquarters are

housed in a historic section of the city.

There are now 14,600 Questers in the United States and Canada. Their study groups research antiques.

The members also are concerned about historic restoration and preservation. A total of \$25,000 in grants was awarded at the convention for this purpose.

The Quakertown chapter, based in Farmington, received the second largest grant. It was the only Michigan chapter to receive a grant this year.

The International Questers also sponsors two graduate students at Columbia University in New York in the study of architectural restoration.

parking for a wedding? Who is going to set up the chairs on the lawn? Who is going to watch the antiques?"

**IF YOU** want to volunteer, "we'll work it out," Carvell said. "We're open 1-5 p.m. Wednesdays and the first Sunday of the month. And we're seeing now between 2,000-2,500 (visitors) a year."

"As for maintenance, we're talking about a better, than 100-year-old house (the building dates back to 1867); maintenance is a continuing process."

"As for the gardens, I like to show them off. We estimate something like 10,000 people eat their lunch there every year."

The gardens are maintained by volunteers from the Farmington, North Farmington and Hill and Dale garden clubs, the Chrystianamum Society, the Naturalists and the Regional Lily Society.

Kay and Bill Blakeney of Farmington Hills are the two regular gardeners, who have graciously watched over the two acres of landscaped grounds since the museum opened. "They need more help," Carvell said.

**MARGE MORRISON** of Farmington Hills and Barbara Butler of Farmington are the two people who

Please turn to Page 5



The Farmington Historical Museum is the former home of Michigan's first three-term governor, Fred Warner.



AT LEFT: Docent Pam Correll of Farmington Hills sits on the Farmington Historical Museum's back porch, where vintage clothing hangs from a line.

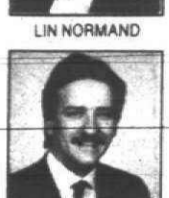
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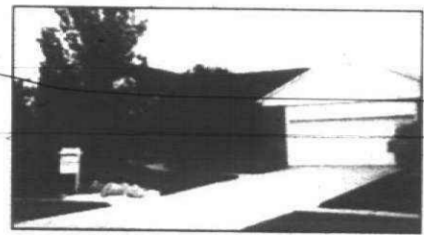
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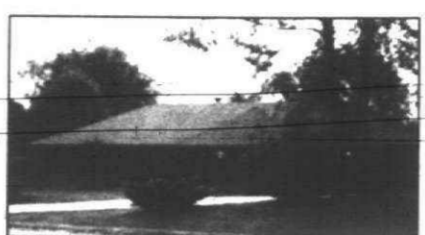
SPACIOUS FIVE bedroom Colonial with 2 1/2 baths...



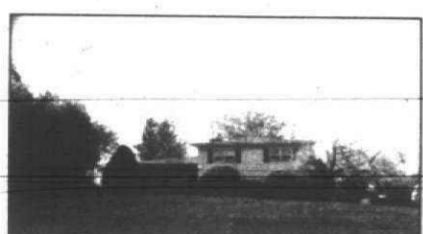
COUNTRY LIVING awaits you in this gorgeous 4 bedroom home...



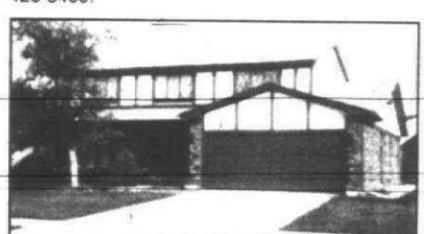
IN-TOWN PLYMOUTH Colonial with 2 1/2 master bedroom, formal dining...



SPACIOUS! Gorgeous brick ranch with fabulous 32 x 22 great room...



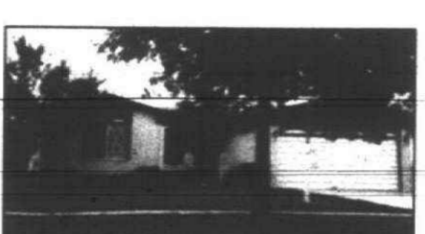
PRESTIGIOUS LIVING 3 bedrooms, 1 1/2 baths, great room with fireplace...



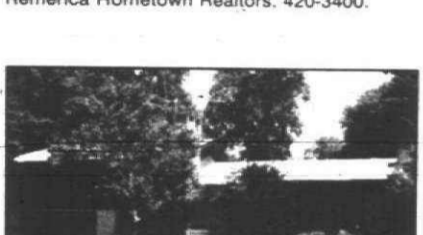
CORNER FIREPLACE for those cold fall nights is just one of the many features...



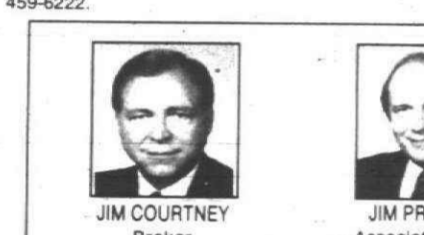
WHAT A BUY! Lovely 3 bedroom, 1 1/2 bath condo with great location...



IMMEDIATE POSSESSION! on this 3 bedroom open floor plan ranch with great family room...



LARGE TREED LOT Plymouth quality built 2600 sq. ft. home with 4 bedrooms...



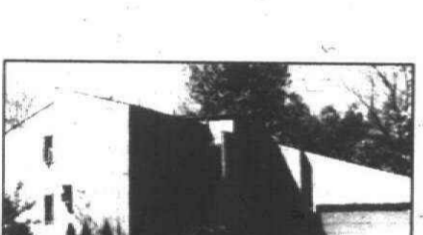
TERRIFIC VALUE on this gorgeous Colonial in North Canton. Huge family room with fireplace...



PRESTIGIOUS 4 bedroom Colonial with 3 full baths, extensive decking...



PRICE IS RIGHT Check out this 4 bedroom, 2 1/2 bath brick Colonial on fenced lot...



5 GORGEOUS ACRES This executive contemporary has it all, 4 1/2 car garage, 2 ponds...



BEAUTIFUL PLYMOUTH RANCH 2 car garage with heated workshop. Knotty cedar finished basement...



COOL IT! In this refreshing inground pool or entertain in your finished basement...



WOW!! Gorgeous Colonial has 5 bedrooms and 3 1/2 baths, crown moldings...



SPACIOUS RANCH Beautifully decorated 3 bedroom, 2 1/2 bath ranch with formal dining...



PLYMOUTH RANCH located in town, close to everything! 3 bedrooms, finished basement...



BACKS TO WOODS Quad-level home with double doorways and spacious deck...



VACATION YEAR ROUND In this super sharp 4 bedroom, 2 1/2 bath Colonial situated on a non-thru street...



STOP SEARCHING! Fantastic 4 bedroom Colonial in desirable Mayflower Sub. Neutral decor...



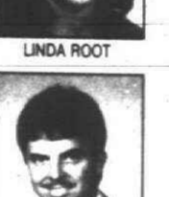
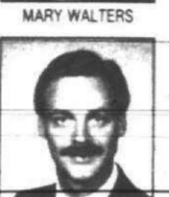
ELEGANT landscaping enhances the private backyard found at this well maintained home...



STOP SEARCHING! Fantastic 4 bedroom Colonial in desirable Mayflower Sub. Neutral decor...



STOP SEARCHING! Fantastic 4 bedroom Colonial in desirable Mayflower Sub. Neutral decor...



Picking a book that truly made a difference

I DON'T know about you, but I was crazy about books long before I could actually read them...

greatest difference in your life? (2) What difference did it make?

Since "Ginger and Pickles" I've spent a lot of time reading. If I had been deprived of my access to books...

THIS WEEK, I came across a slim, paperback volume called "Books That Made the Difference..."

OTHER CHOICES were a bit more predictable. Betty Osborne, a nurse in Peoria, Ill., chose Norman Cousins' popular "Anatomy of an Illness..."

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Several people named the Bible, of course. A few readers chose "the dictionary." A number picked classics such as "The Wizard of Oz..."

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DEARBORN FIRST OFFERING Walking distance to Leavogood Park and Divine Child H.S. 3 bedroom brick home decorated and carpeted in warm earthy tones...

GREENBROOK SUB. Large lot, beautiful 4 bedroom, 2 full bath Cape Cod on a cul-de-sac. Full basement, that has much storage...

SERENITY Two acres of country surround the superior updating in this four-five bedroom Ranch. Per-air, high efficiency furnace and water heater on good sized lot...

LIVONIA Original owners have taken pride in this 3 bedroom, 1 1/2 bath tri-level, attached garage, central Per-air, high efficiency furnace and water heater on good sized lot...

WATCH BIRDS FROM GLASS-IN BACK PORCH. Original owners want to share their immaculate home with you. Hardwood floors, 2 fireplaces, natural woodwork, glassed-in porch, brick foyer, Northville location...

NOVI Ranch built in 1986, three bedrooms, two baths, partially finished basement, two car attached garage, neutral decor. Private deck off kitchen backs to woods...

LIVONIA LOVELY 4 bedroom, 2 1/2 bath colonial featuring great room, 1st floor den, large country kitchen, formal dining, beautifully finished basement, 2 car attached garage and many extra touches...

THIS GRACIOUS HOME offers formal dining room, living room, gourmet kitchen. French doors lead to den, central air, sprinklers, 3++ attached garage. Perfect marriage of professionally landscaped lot and home...

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NORTHVILLE Gracious four bedroom Colonial in desirable family neighborhood leaves nothing to be desired. Four bedrooms, 2 1/2 baths, finished basement. The neutral decor is surrounded by mature trees...

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UNDER CONSTRUCTION...

326 Condos
AQUA COMMUNITY
2 bedroom, 2 1/2 bath, open lake...

326 Condos
BLOOMFIELD HILLS
2 bedroom, 2 1/2 bath, open lake...

307 South Lyon Milford-Highland
ATTRACTIVE new listing in West...

308 Rochester-Troy
CONTEMPORARY RANCH 2 bed...

309 Brighton, Hartland, Walled Lake
ATTRACTIVE new listing in West...

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Advertisement for Renaissance Festival, featuring 'Win Four Free Passes To' and 'Close-Out Phase' with dates August 18-September 30, 1990.

328 Condos
CLEAN UPPER RANCH with 2 bedrooms, all appliances, light airy decorating, and cozy balcony from living room. Nice Westland location is convenient to shopping, immediate occupancy, too \$267,000.

The Prudential William Decker, REALTORS 455-8400
COUNTRY KNOLL - 12 & Evergreen, Southfield. Spacious 2 bedroom, 2 bath with balcony, upper unit, Debbie Gannes, Coldwell Banker Schwitzer 642-2400

FARMINGTON HILLS
Cozy Crosswinds Condo 2 bedroom, 1 1/2 bath, ceramic tile throughout, new carpet, custom window treatments, private garden-like patio, skylights, upgraded lighting, fireplace, all appliances, finished basement. By owner \$97,000

FARMINGTON HILLS
2 bedroom end unit, courtyard view, hardwood central air, carpet, etc. \$68,000. FARMINGTON HILLS CONDO Sharp 2 bedroom with 2 full baths, newer carpet and appliances, balcony, pool, swimming pool, \$79,000.

The Prudential Harry S. Wolfe, REALTORS 462-1660
Independently Owned and Operated FARMINGTON HILLS Pendleton Club Senior Condos Premium Location Across from Shopping, Middlebelt, just South of 11 Mile

HEPPARD 855-6570
GRAND RIVER/7 Mile area. Upper 2 bedroom condo, new disposal and carpeting, large and sunny patio, stay \$17,900. Carmel. 533-1981

LIVONIA LAUREL PARK
Super deluxe 1750 sq. ft. ranch, newly decorated in neutral colors, 2 bedrooms, 2 bath, fireplace, upper system, wet bar, 2 car garage, many extras. \$137,000.

LIVONIA
1801 UNIVERSITY PARK 3000 sq. ft. condo with walking distance to Laurel Park Plaza. Living room, dining room, great kitchen with wet bar & fireplace, 3 bedrooms, 2 baths, and walk-out lower level. \$149,900.

Century 21 ROW 464-7111
NEW LISTING
SECURED WOOD SETTING. Charming brick courtyard with iron balcony, custom mirrors and floor level lower level \$119,900. 647-7190.

RALPH MANUEL BUILDERS MODEL
2400 sq. ft. 3 bedroom unit (first floor) with 2 1/2 baths, walk-out, overlooking 3rd & 3rd course. Completely renovated. \$269,900. Call 348-0035 930-1500

326 Condos
HARD TO FIND
Rare model with window in kitchen. Eating space too! Lots of cupboards. Central driving room. Large master bedroom with walk-in closet. All newly painted in shell white. \$79,900.

HIGHLAND LAKES RANCH
Finally a ranch condo unit, 2 bedrooms, 1 1/2 baths, finished basement, patio, beamed cathedral ceiling, wood burning fireplace and more. \$85,000.

LIVONIA THE WOODS
ONLY \$78,500 - OPEN SAT. 2-5. Spacious 2 bedroom, 2 bath, laundry room. Private entrance, carpet, overlooking landscaped wooded stream. Neutral decor, 9 ft. ceilings provide open airy feel. Easy access to expressways in Downtown Plymouth. Only \$99,000.

Century 21 ROW 464-7111
NORTHVILLE - ON THE WATER
Wood private sand beach, swimming, boating, fishing and nature view. On Back Rd., S. of 7 Mile, W. of 275. From \$199,500. 344-8800

The Prudential Harry S. Wolfe, REALTORS 421-5660
NOVI - OPEN SUN. 2-5. 24583 Old Glenhaven E. - 21351. Fantastic 3 bedroom townhouse, 2 1/2 baths, hardwood floors, private patio, central air, basement, attached garage, quick occupancy. \$124,900. N. of 8 Mile, W. of Meadowbrook.

Century 21 CASTELLI 525-7900
NOVI - WALLED LAKE Shoreline condominium, 1 bedroom, 2 1/2 baths, granite counter, 2 balconies, garage, washer & dryer in unit. Best buy, great view, workroom. \$49,900. Meadowbrook, near Bruce Lloyd.

NOVI - OPEN 1-4 PM
2648 RENOV
Stunning dinner kitchen will knock you out! This ranch condo boasts of granite, oak, maple, oak cabinets and kitchen floor, 2 bedrooms, central air, garage. See it today before it's gone. \$89,900.

Century 21 ROW 464-7111
Owner Transferred
Highly motivated seller. Here is an offer! PHA terms available. Highly desirable ranch style with full basement, attached garage. Here is your chance to buy the good life with clubhouse & pool close by. Convenient to shopping & expressways. Canton Twp. Only \$84,900.

Century 21 ROW 464-7111
PLYMOUTH TOWNSHIP CONDOMINIUM
Almost new condominium featuring living room with fireplace, 2 bedrooms, 1 bath, laundry room, fully carpeted, stone refrigerator, wood burning fireplace, central air, 1 1/2 month lease NO PETS. Rent \$500. Call 348-0035 930-1500

Century 21 ROW 464-7111
PLYMOUTH WOODS 2 1/2 bedrooms, 2 1/2 baths, granite counter, oak cabinets, hardwood floors, private patio, central air, basement, attached garage, quick occupancy. \$124,900. N. of 8 Mile, W. of Meadowbrook.

326 Condos
OPEN SUN. 2-5
27327 Apple Blossom, Inter-1/2 Mile, 2 bedrooms, 2 baths. Attached garage. First floor laundry. Call \$115,000. DUBIN INC. REALTORS 626-3000

326 Condos
OPEN SUN. 2-5 PM
11723 Sycamore, Plymouth N. of Ann Arbor Tr. W. of Haggerty Spacious 2 bedroom 2 bath condo, overlooking landscaped wooded stream. Neutral decor, 9 ft. ceilings provide open airy feel. Easy access to expressways in Downtown Plymouth. Only \$99,000.

Century 21 SUBURBAN 349-1212 261-1823
PLYMOUTH - PRIVACY PLUS!
Neutrally decorated 2 bedroom townhouse with fireplace, granite counter, oak cabinets, hardwood floors, private patio, central air, basement, attached garage. \$96,000.

Century 21 SUBURBAN 455-5880 484-0205
PLYMOUTH 2 bedroom condo, air conditioning, central air, hardwood floors, granite counter, oak cabinets, hardwood floors, private patio, central air, basement, attached garage. \$96,000.

CALL JEAN BRANNAN Re/Max West 261-1400
Retirement Special!
Parted 1 bedroom condo with large living room, formal dining area and separate kitchen with all appliances. Central air just 2 years old. Very clean and nice neutral decor. What a value at only \$51,500.

Century 21 ROW 464-7111
NOVI - COMFORTABLE 2 bedroom townhouse with fireplace, granite counter, oak cabinets, hardwood floors, private patio, central air, basement, attached garage. \$96,000.

Century 21 ROW 464-7111
NOVI - OPEN 1-4 PM
2648 RENOV
Stunning dinner kitchen will knock you out! This ranch condo boasts of granite, oak, maple, oak cabinets and kitchen floor, 2 bedrooms, central air, garage. See it today before it's gone. \$89,900.

Century 21 ROW 464-7111
WALLED LAKE
Best value in town. Recared, all appliances, 900 sq. ft. \$45,900. Another unit at \$41,900. Open Sun. 2-5 Marabian Assoc. 363-5877

Century 21 ROW 464-7111
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326 Condos
WALLED LAKE BEST BUY
OPEN SUN. 1-4 PM 10:00 Neptune N. of 14 Mile, W. of Decker. Nice 2 bedroom townhouse features basement, central air, 1 1/2 baths, attached garage, more \$59,900 or best offer. Call Andy Century 21 Row 464-7111

326 Condos
WATERFORD
OPEN SUN. 2-15-5 1058 SANDPIPER (N. of Orchard Lake, E. of Cass) Almost new 4 bedrooms, 2 full baths. Marina available. Will consider low offers. \$199,900. COLDWELL BANKER Schwitzer Real Estate 642-2400

326 Condos
WEST BLOOMFIELD
Luxury and More! Great room with floor to ceiling windows and French doors that lead to expansive deck. Large master suite. \$199,750. COLDWELL BANKER SCHWITZER 737-9000

326 Condos
CENTURY 21 SUBURBAN 349-1212 261-1823
PLYMOUTH - PRIVACY PLUS!
Neutrally decorated 2 bedroom townhouse with fireplace, granite counter, oak cabinets, hardwood floors, private patio, central air, basement, attached garage. \$96,000.

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332 Mobile Homes
NOVI/FARMINGTON AREA
HIGHLAND HILLS ESTATES is located on Seeley Rd. between Haggerty and Meadowbrook, just North of Grand River and only 2 miles from Twelve Oaks. VICTORIAN style home, by owner. In Village of Twelve Oaks, 3 bedrooms with pantry, sunporch, laundry, hardwoods, 2 car garage. Very nice. Convenient shopping. 24 hours. \$99,900.

332 Mobile Homes
JUST LISTED 14 x 20 Bendix with 12 x 24 addition 3 bedrooms, 2 baths, all appliances. Premium site. Only \$20,500. 14 x 20 Victorian - all appliances, central air, large living room, 2 bedrooms, bath, premium site. \$25,200.

332 Mobile Homes
14 x 20 - Victorian with 6 x 36 expando. All kitchen appliances 2 bedrooms, 2 baths. Premium site. Immediate occupancy. \$32,490. Others to choose from

QUALITY HOMES CALL JOANNE 474-0320
SHULT, 1987. Many options. Stove refrigerator, shed included. Prime lot in park. Lincoln School. \$25,900. Call after 5pm. 461-1251

332 Mobile Homes
STERLING HEIGHTS-BY OWNER
Redgate Manor Double, 3 bedrooms, 2 baths, deck, shed, all appliances \$17,500. 979-9990

332 Mobile Homes
WESTLAND Brand New 1990 Prepaid 14 x 20 2 bedroom, 2 bath, 1 1/2 car garage, stream running through property. Build your dream house on this one-of-a-kind private lot. \$49,900. Call 644-5322

332 Mobile Homes
WESTLAND Duke Zimmer 14 x 20, shingled roof, lap siding, new central air, new wood deck. Must see. HOMETOWN U.S.A. 595-0606

332 Mobile Homes
WESTLAND 12x35, 1 bedroom, excellent condition, on lot, \$206 per month including electric & water. \$3,500. 722-9575

332 Mobile Homes
WESTLAND 2 bedroom, 1 bath, 12x30. Gas heat and hot water deck with evening 2 sheds. New roof. Call for pricing. \$10,500 or best offer. 474-2519

332 Mobile Homes
WESTLAND 2 bedroom, 1 bath, 12x30. Gas heat and hot water deck with evening 2 sheds. New roof. Call for pricing. \$10,500 or best offer. 474-2519

334 Out of Town
Property For Sale
VICTORIAN style home, by owner. In Village of Twelve Oaks, 3 bedrooms with pantry, sunporch, laundry, hardwoods, 2 car garage. Very nice. Convenient shopping. 24 hours. \$99,900.

334 Out of Town
AVAILABLE AUG 13-25 2 Bedroom, 2 bath condo w/lacuzzi, all appliances. Eleven lakes, 4 golf courses, horseback riding & more. Tennessee \$600/wk. 625-9028

334 Out of Town
MT PLEASANT, S.C. 3 bedroom condo, 2 1/2 bath on private golf course. Free swimming, tennis & fishing 10 mi to ocean. \$70,000. Call after 5pm. 255-7454

334 Out of Town
NAPLES, FLORIDA
Golfers at all times. 2 bedrooms, 2 1/2 golf club membership included. \$87,500. Marilyn Christiansen. Broker. Eastman Assoc. Inc. 706 5th Avenue South 33940. Call 1800 523-2297

334 Out of Town
PUNTA GORDA, Southwest Florida. Beautifully furnished 4 bedrooms, 3 1/2 baths. Call after 5pm. \$149,900. Call BARBARA DUTTON 626-9100

334 Out of Town
NORTHVILLE TOWNSHIP
5 and 10 acre parcels. Beautiful view of golf course. Parked Land. Contract terms available. 437-1174

334 Out of Town
N Territorial & US 23 area. 63 spectacular wooded 23 acre parcels. Being split into 2 to 15 acre parcels, priced. 663-4886

334 Out of Town
OAKLAND TWP. ROCHESTER SCHOOLS
Three wooded 4 acre lots and one 10 acre lot on private road. Gas electric, cable, well approved septic. Prime area. Collins & Onion Rds. Lots 373-7411 651-6025

334 Out of Town
OVER AN ACRE wooded sloping terrain. Choose your own builder or have us build your custom home. Birmingham Schools. One of the few remaining buildable lots in charming Franklinville. Call after 5pm. \$134,000. Ask for RAY FOX 626-8700

334 Out of Town
AFFORDABLE HOMES, cottages and lots in Gladwin County. Restored, electric, waterfront and golf. \$17-435-7755. 428-5800 or Eve. Kate Jackson, 428-2118

339 Lots and Acreage
HAZEL PARK 30x115 residential lot \$1,250. 983-0937

339 Lots and Acreage
--LAND VALUE--
LOTS OF POTENTIAL
Just under 6 acres which included a small unbuildable lake on Lower Long Lake. Lots of trees, privacy, wooded area, 2 1/2 acres, 1 1/2 acre, 1 1/2 acre, 1 1/2 acre. \$250,000. HANNETT, INC. REALTORS 646-6200

339 Lots and Acreage
MILFORD IN TOWN FARM
Beautifully wooded executive estate with pond & stream. 5 or more acres with excellent schools, utilities, quick expressway access & golf shopping. Call owner to see this unique prestige neighborhood. Selling below market at \$143,900. Call BARBARA DUTTON 626-9100

339 Lots and Acreage
NORTHVILLE TOWNSHIP
5 and 10 acre parcels. Beautiful view of golf course. Parked Land. Contract terms available. 437-1174

339 Lots and Acreage
ABSOLUTELY the finest wooded lot in Farmington Hills. 10 acres. Secured, private road. \$49,500. 747-7834. J. Lynch, Broker. Brokers protected.

339 Lots and Acreage
BEACH RD. Behind Square Lake Rd. & South Blvd. Adams & Goodie. Near nature area & Pine Trace Golf Course. 125x185. 879-7823

339 Lots and Acreage
BEAUTIFUL HEAVILY treed secluded lot in the heart of Bloomfield Hills. 10+ acres with established neighborhood. For information 932-1236

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340 Lake-River-Resort Property
TORCH LAKE GRAND TRAVERSE BAY
WEST SIDE MODEL HOME
roughed in, chaise style, 3 levels, 2 fireplaces with decks, ready to finish. 3000 sq ft. you finish with from 3 to 5 bedrooms, 2 to 4 baths, all cedar siding, "Pella" windows, hardwood prefinished main floor, included in price AS IS \$250,000.

340 Lake-River-Resort Property
TORCH LAKE LOT best buy on the lake 100' frontage, park ready to build on. North East side - \$85,000 short term L/C available.

340 Lake-River-Resort Property
REAL ESTATE ONE OF BELLAIRE 1-800-968-2627 (MI) 1-616-533-6171

340 Lake-River-Resort Property
ALL SPORTS LAKE NEVA Canal Front Tri-Level home. 3 bedrooms, 2 1/2 baths. Move in condition. Call after 5pm. \$149,900. Call BARBARA DUTTON 626-9100

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5 and 10 acre parcels. Beautiful view of golf course. Parked Land. Contract terms available. 437-1174

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BEACH RD. Behind Square Lake Rd. & South Blvd. Adams & Goodie. Near nature area & Pine Trace Golf Course. 125x185. 879-7823

342 Lakefront Property
JUST LISTED - Contemporary Lakefront. An awesome white contemporary lakefront dream come true. Located on an awesome 1/2 acre. Strata Lake. Call for specifics. Unbelievable opportunity. \$325,000.

342 Lakefront Property
SQUARE LAKEFRONT - Prime 74 lot on sandy beach of clean, deep, all sports lake is the home of this beautiful 3 bedroom, 2 1/2 bath, brick ranch with completely finished walk-out lower level. 2 fireplaces, deck, garage, etc. \$299,900.

342 Lakefront Property
WATERFRONT PREMIUM located on Cedar Island Lake with superb sandy beach. Excellent updated 3 bedroom ranch. Numerous windows offers panoramic view. 2 fireplaces, 2 car attached garage. Call 1-800-555-2599.

342 Lakefront Property
CENTURY 21 TODAY 855-2000
LAKEFRONT HOME - N. Commerce Lake 3 bedrooms, 2 full baths, walk-out 3 terraces, patio, great room, car attached garage. Beautifully landscaped. \$224,000. Call \$215,000. Frank ERA LAKEFRONT Frank 669-2699 or 363-4566

342 Lakefront Property
METAMORA (Lapeer) Beautiful new 3 bedroom, ranch walk-out, 2 bedrooms, 2 1/2 bath, frontage, large deck, 2 baths, fireplace, large deck with panoramic view. \$279,000. Call 363-4566

342 Lakefront Property
MILFORD AREA 227 M lakefront on Lake Ona. Beautifully landscaped 3 bedroom, 2 1/2 bath, walk-out, 3 terraces, patio, great room, car attached garage. \$224,000. Call \$215,000. Frank ERA LAKEFRONT Frank 669-2699 or 363-4566

342 Lakefront Property
OPEN HOUSE July 29 1:50m 10340 Elizabeth Lake Rd W. 10340 Elizabeth Lake Rd W. Custom temporary with finished walk-out, 3 bedrooms, 3 bath, spectacular terrace backyard to your own private park. Call 851-5500

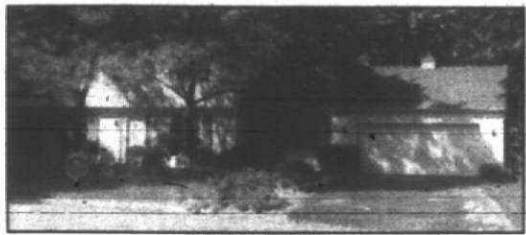
342 Lakefront Property
NORTHVILLE CONDO
With private sand beach. Swimming, fishing, boating, and nature view. On Back Rd. S. of 7 Mile, W. of 275. From \$199,500. 344-8800

342 Lakefront Property
OPEN SUN. 1-4
1191 ARBROAD WAY
In Clarkston, W. of Lapeer. 200' of water frontage leading to Lake Orion (91AR) \$268,000. COLDWELL BANKER Schwitzer Real Estate 642-2400

342 Lakefront Property
PINE LAKE FRONTAGE makes this 3 bedroom brick ranch a great place to live. Call 363-4566

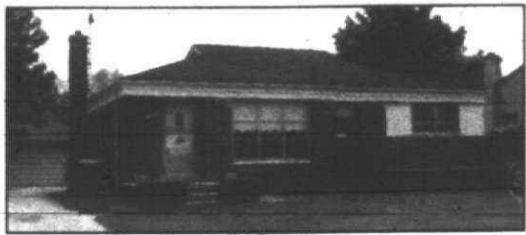
# Select Properties from Real Estate One.

Michigan's Largest Real Estate Company



**PLYMOUTH**

**WOODLORE** - Beautiful wooded lot, elegant Colonial. Fantastic walk-out basement, ideal for entertaining. Four big bedrooms, plus den. One year home protection plan.  
\$199,000 455-7000



**LIVONIA**

**PERFECT, STARTER HOME!** - Absolutely meticulous 3 bedroom, 2 bath brick Ranch; full basement with rec room or fourth bedroom, central air, Florida room, newer carpeting, freshly painted neutrals.  
\$89,900 477-1111



**WESTLAND**

**FARM TYPE** - 3 bedroom Colonial with den or sewing room, lots of updates, beautifully landscaped. 2 full baths, country kitchen. Deck, pool and playhouse.  
\$69,900 326-2000



**REDFORD**

**QUIET DEAD-END STREET** - Brick home featuring: 4 bedrooms, 2 1/2 baths, formal dining room, Oak kitchen cabinets, deck with hot tub. All appliances stay, wall of windows in huge family room.  
\$118,900 261-0700



**LIVONIA**

**THIS ONE HAS IT ALL PLUS.** - N.W. Livonia, 5 large bedroom Colonial with commons to rear; woods on one side. 2 1/2 baths, first floor laundry, covered sun porch. Immaculate.  
\$177,000 455-7000



**LYON TOWNSHIP**

**ROOM TO ROAM** - on 4+ acres off private road. Fabulous 3 plus bedroom ranch with cr. dr. Step saver kitchen. Family room with fireplace, central air.  
\$189,900 348-6430



**INKSTER**

**GOODBYE MR. LANDLORD.** - This 3 bedroom ranch has basement, party room, the kids will love. Wayne/Westland Schools. Take the first step to better living and call now.  
\$49,900 326-2000



**PLYMOUTH**

**YOU'LL BE IMPRESSED!** - Maintenance-free home with 4 bedrooms, 2 full baths, large family room with fireplace, formal dining room, newer carpet throughout, in-ground pool, attached 2 car garage.  
\$142,900 261-0700



**CANTON**

**NORTH CANTON BUY.** - Priced to allow for some needed repairs. - This is a great 3 bedroom, 1 1/2 bath Ranch in Mayflower Sub. Offers central air, new roof, newer carpeting. Fenced yard.  
\$117,900 455-7000



**GREEN OAKS TWP.**

**COUNTRY ATMOSPHERE!** - Private road. Plus a 3 bedroom Ranch-home, large family room with wood stove, screened patio and 2 car attached garage, and more!  
\$127,900 348-6430



**WESTLAND**

**THREE BEDROOM RANCH** - This nice brick home has finished basement, new garage, roof and windows. Original Owners have maintained this home. Large lot.  
\$64,900 326-2000



**PLYMOUTH**

**SHARP BRADBURY CONDO.** - Two bedroom Condo with pool and clubhouse. All neutral decor. Ready to move into. Carpet included plus central air and full basement.  
\$77,500 455-7000



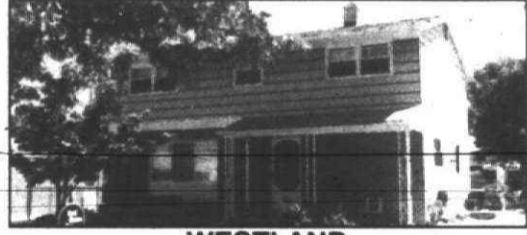
**CANTON**

**A CAREFUL BUYER'S DREAM.** - Extraordinary features galore. Beautiful 4 bedroom, quad, wrap around deck overlooking pool, backs to a parklike area. Many updated amenities.  
\$110,500 455-7000



**REDFORD**

**BRICK RANCH** - Three bedrooms, 1 1/2 baths on main floor. Family room, newer furnace, 2 car garage, fenced yard. In all-brick area.  
\$73,500 261-0700



**WESTLAND**

**IDEAL FOR KIDS:** - 3 or 4 bedroom Tonquish Colonial with den, 2 baths, country kitchen, full basement, newer vinyl windows lovely landscaping and owners pride throughout.  
\$83,500 326-2000



**CANTON**

**WOODED 3.87 ACRES.** - Unique 4 bedroom brick Ranch. Living room, family room, dual fireplaces, 2 1/2 baths in upper level. First floor laundry, formal dining room. Finished Walkout includes wet bar with fireplace.  
\$278,900 455-7000



**CANTON**

**WHAT DREAMS ARE MAD OF!** - This 4 bedroom, 2.2 baths, Tudor has 2,300 sq. ft. of living area. First floor laundry, ceramic flooring, 2 wet bars, finished basement, central air. Plus More!  
\$139,900 455-7000



**REDFORD**

**2 BEDROOM 2 BATH CONDO** - Brick Condo with private entrance and covered patio. Formal dining room, central air, neutrally decorated, and neat and clean.  
\$55,900 261-0700



**GARDEN CITY**

**ENJOY THE FANCY LIFE** - in this 3 bedroom Colonial with den, 2 baths, country kitchen, full basement and sewing room on an 87 ft. lot.  
\$73,500 326-2000



**CANTON**

**WOODS BEHIND HOME** - Colonial with 3 bedroom, 2 full baths, first floor laundry, central air, family room with cathedral ceilings plus finished basement.  
\$128,800 455-7000



**PLYMOUTH**

**GREAT FAMILY HOME** - New neutral carpet throughout. New (88) central air, humidifier. Attic fan, finished basement with full bath, wet bar, ample storage. Four bedroom, 3 baths, Colonial.  
\$199,900 455-7000



**LIVONIA**

**IMMACULATE MAINTENANCE-FREE QUAD** - 4 bedrooms, 2 full baths, kitchen with newer cabinets, family room with fireplace, rec room, inground pool. Newer windows and attached 2 car garage.  
\$134,900 261-0700



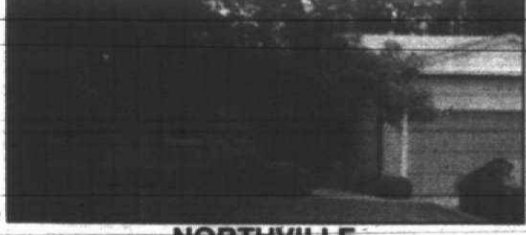
**REDFORD**

**THREE BEDROOM ALUMINUM BUNGALOW** - Corner lot home, with a big yard, newer furnace, central air and windows, finished basement, up-graded electric, 2 car garage. Neat and clean.  
\$63,900 261-0700



**CANTON**

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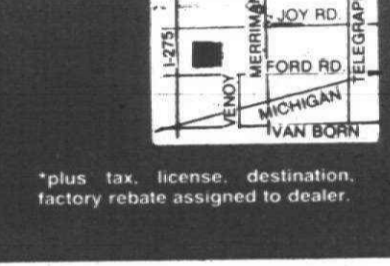
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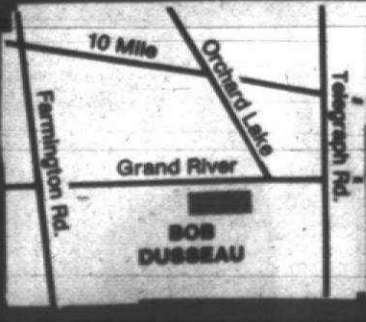
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# Building Scene

CLASSIFIED ADVERTISING



Marilyn Fitchett editor/591-2300

Thursday, July 26, 1990 O&E

★1H

## Down with the old to make way for the new

By Gerald Frauley  
staff writer

Consider a perfectly good home that is, quite frankly, in the way.

Picture a nice house in a great location (probably lakefront property) perfectly suited for one of those huge expensive homes if not for the fact that the site is already occupied.

Without breaking some of the more basic laws of physics (two objects cannot occupy the same space at the same time), the perfectly good home would have to be demolished.

Which is where Andrew Adelson comes in.

Adelson's company, Everything Goes — Estate Liquidators in West Bloomfield, specializes in a unique form of demolition — instead of destroying a home and carting waste off the site, he sells the home piece by piece.

Everything Goes has been involved in estate liquidations for nearly 13 years but has been involved in demolition sales only since 1987.

"We used to do just four or five homes a year, but now we're doing between 15 and 20 a year," he said. "A lot of the stuff we do now has to do with building because we do a lot with lake housing."

CERAMIC TILE, carpet, windows, hardwood floors, complete baths, lighting, exterior decks, heating and cooling systems, marble, bricks, bushes, trees, fireplace mantels, doors, duct work, kitchen cabinets — if it isn't nailed down (and in many cases even if it is) Adelson sells it until barely a shell remains.

Adelson said even though his business sprang from his estate sales business, he wouldn't have attempted it without a building background.

"I've built a house before so I know a little about taking them apart (without destroying the things he wants to keep). It's not salvage, but it's like salvage. You have to know what you're doing."

Adelson said the most unusual sale he ever made was at the end of a demolition sale when almost everything was gone. "This guy came in and said he wanted to buy all the copper pipes in the home — I don't know what he wanted it for, maybe for salvage, but we took apart all the walls and he got the pipes."

Most homes, Adelson said, would generate between \$5,000 and \$10,000, but demolition sales aren't really profitable unless revenues reach \$10,000. "I generally won't do it unless I can hit between \$10,000 and \$25,000."

PEOPLE WHO hire him use the proceeds from the sale to defray the cost of demolishing the remainder of the home, Adelson said. "Most demolition costs are between \$8,000 and \$9,000."

"This works out for everyone, the people who come to the sales buy good but used things at a cheaper price, and the people selling the home make a profit which can be used in the next home," he said.

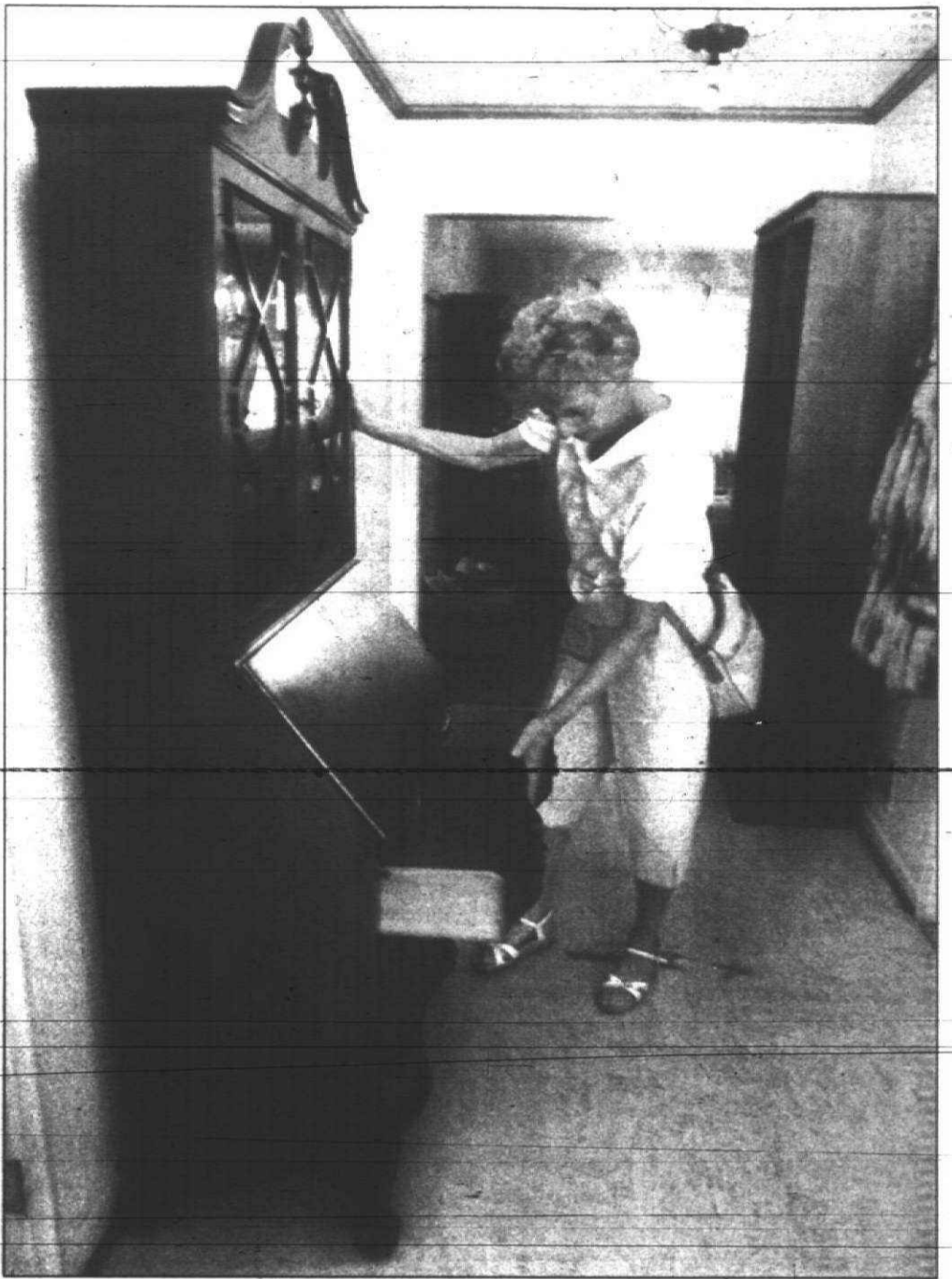
Items are priced before the sale by Adelson who is paid a flat fee for his services.

The average demolition sale house is 20 years or older, but he has done sales in newer homes, Adelson said.

Real estate agents have noted the trend, especially in lake-rich Oakland County, where people buy property strictly for the lot and tear down the old home and then build a new one on the site.

Paul Wonsack of Chamberlain Realtors in West Bloomfield said selling homes for the property is hardly an everyday occurrence, but he has seen several sales and heard of others.

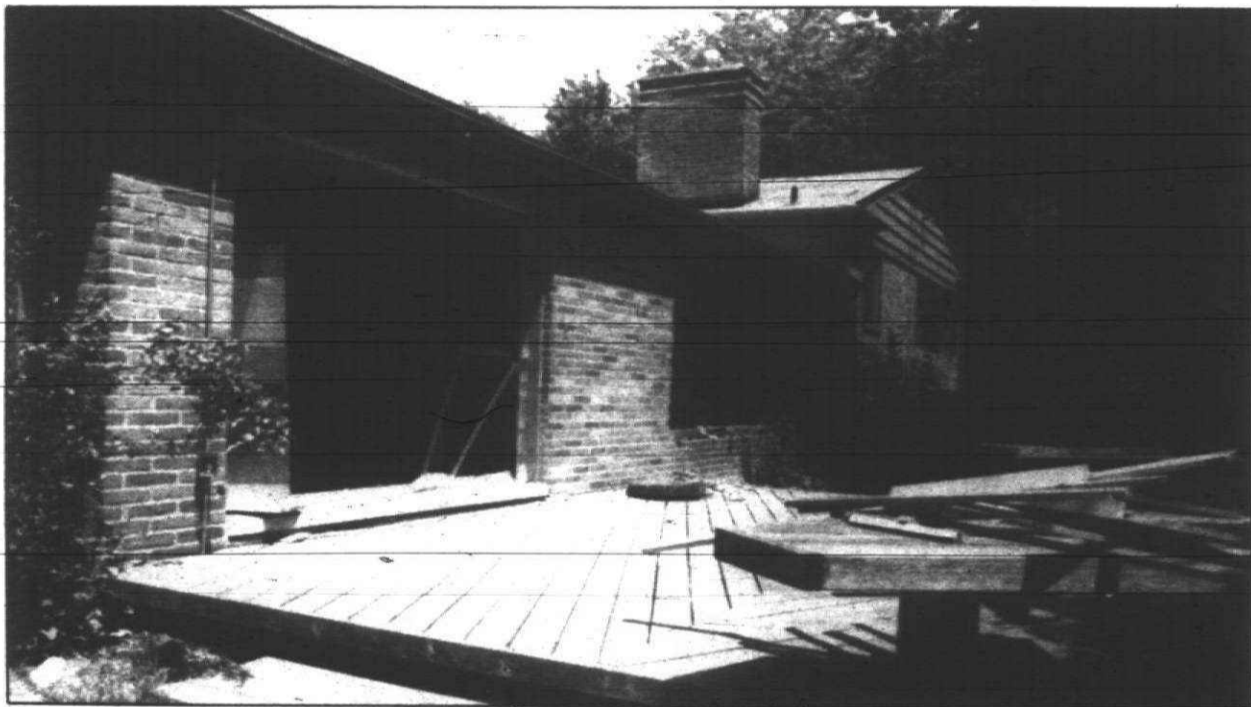
What's driving these sales, he said, is obvious.



JERRY ZOLYNSKY/staff photographer

Above: Joy Geheb of Bloomfield Hills inspects an antique secretary in a home soon to be demolished. Left: The shell of this Pon Valley house in Bloomfield Hills is all that's left on the day before it is leveled. Andrew Adelson's company, Ev-

erything Goes — Estate Liquidators in West Bloomfield, specializes in selling contents and portions of the house by piece. Even copper plumbing has been ripped from the walls for a buyer.



BLAKE DISCHER/staff photographer

## Commercial boom over?

By Tim Richard  
staff writer

The construction boom of shopping centers in the 1980s is not likely to continue into the '90s.

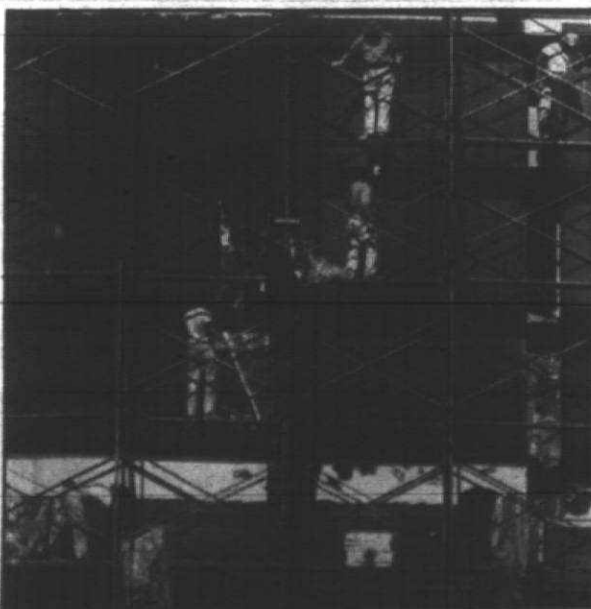
All the factors that went into making the '80s a boom time — from the young population with disposable income to the availability of land — no longer exist, speakers told the International Conference of Shopping Centers at a convention in Dearborn July 17.

"The '90s will be lean and mean," predicted Ginny Colvin, general manager of Maple Hill Mall in Kalamazoo.

Commercial real estate developers will be hard pressed to raise money for new construction for several reasons, including the savings and loan bail out and leveraged buyouts of retail corporations, Colvin said.

The high interest rates generated by these two events have impacted the profitability of shopping centers, he said.

Frank A. Newman, chairman and chief executive officer of F&M Distributors, said for most of the 1980s retail space grew much faster than anyone could have anticipated resulting in more competition and less forgiving customers.



Expect to see fewer commercial developments built as developers face a credit crunch and retail space is less in demand.

The 1990s, at least the early years, will be a sharp contrast as lenders are less willing to loan money for building projects, he said.

Only retail projects that have a major tenant, preferably a major national chain store, are able to get loans, Newman said. "Spec (speculative) building is being replaced by power centers (large strip centers with a major national anchor) leaving large room for independent retailers."

"There will be fewer and fewer retail centers built," he predicted. "Some of the more successful will grow, but there will be a loss of those less successful stores that would have surfaced in the 1980s."

BIRMINGHAM REAL estate agent Barry Klein pointed to the over expansion of malls during the '80s as one reason why retailers won't be looking toward new construction in the 1990s.

Commercial real estate is over built when it comes to retail space, Klein said. More retailers came into southeast Michigan during the past decade than in any decade previously and it will take some time before the area will be able to absorb the existing retail.

Even if developers were willing to build, banks are tightening credit and are auditing bank loans more carefully, he said. Only those projects which are significantly pre-leased are granted loans.

Klein also said the shrinking youth segment of the American population will force retail developers to consider carefully expansion in the 1990s. While younger people have the time and desire to frequent mall and strip centers, older shoppers often shop by mail or even computer, he said.

Finally, Klein said, there is the "no-growth, slow-growth" movement which is putting the breaks on development in much of southeastern Michigan. While most developers were welcomed to build in most communities in the 1980s as retail construction generated more jobs and a higher tax base, in the 1990s, communities are seeking to retain the status quo and stave off further urbanization.

ROBERT SCHOSTAK, vice president of Schostak Brothers & Co. in Southfield, said the current political reality will not permit continued commercial real estate development at the present rate.

"A lot of environmental and public interest view shopping centers as traffic and environmental problems, but they don't recognize what we bring to the table — jobs and taxes," Schostak said.

Although real estate developers were able to succeed despite these concerns, those same concerns will pose more of a problem in the next decade, Schostak said. "But the '90s are not gonna be what the '80s were," he warned.

Gerald Frauley contributed to this story.

BUILDER'S CLOSOUT

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# Promote dining room use through better planning

(AP) — Because it is the least-frequently used space in the house, people tend not to give too much thought to the dining area when building a house. But the key to success is careful advance planning, according to Home Beautiful magazine.

First consider how you are likely to use a dining area. How often will you entertain how many people? Are your guests usually close family and friends with toddlers? Or do you prefer fancy-dress occasions? Informal buffet dinners? Barbecued burgers? Impromptu potluck dinners?

What is your cooking style? Do you like having guests kibitz while you work or is everything ready be-

## building news

Here are some building facts and figures. —

- Consumers are doing more of their own home improvement and remodeling jobs, and they are buying better-quality tools and accessories to do them, a new survey shows. One third of the participants in the Better Homes & Gardens Consumer panel, made up of 1,000 members demographically representing the magazine's readers, said they are doing more — and more complex — projects than they were doing two years ago. Some of these projects are room additions and electrical and plumbing work. A majority said they are willing to pay more for better tools.
- If you keep a refrigerator or freezer on your back porch, in the garage, or any other normally unheated area, you may want to pick a manual defrost model.

Automatic defrosting systems can be thrown for a loop when the surrounding temperature drops below 40 degrees, according to the Major Appliance Consumer Action Panel. At this temperature, the compressor will not operate long enough to maintain adequate cold in the freezer compartment.

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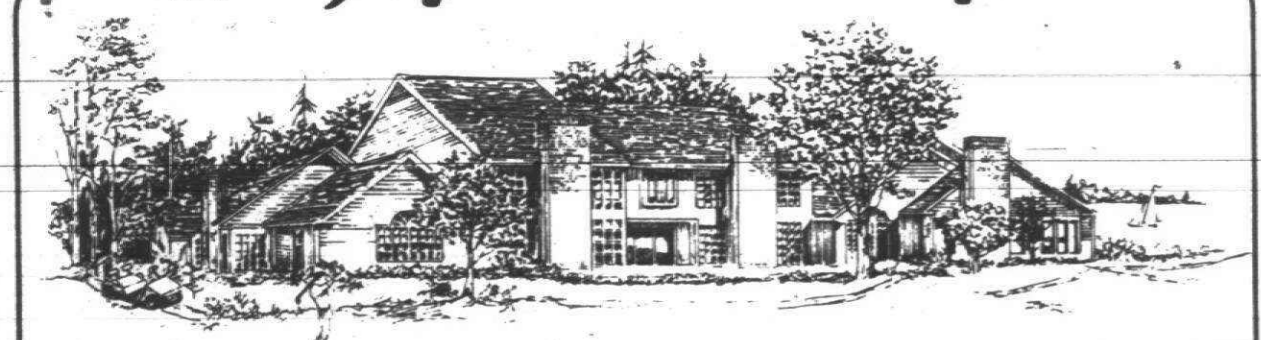
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and secluded nature trails where you can appreciate the tranquility of the beauty of Oak Pointe. The winter months mean cross country skiing, ice skating, and downhill skiing at nearby Mt. Brighton. For a little slower pace, enjoy a great meal in the comfortable surroundings of Oak Pointe's famous and historic Roadhouse Restaurant.

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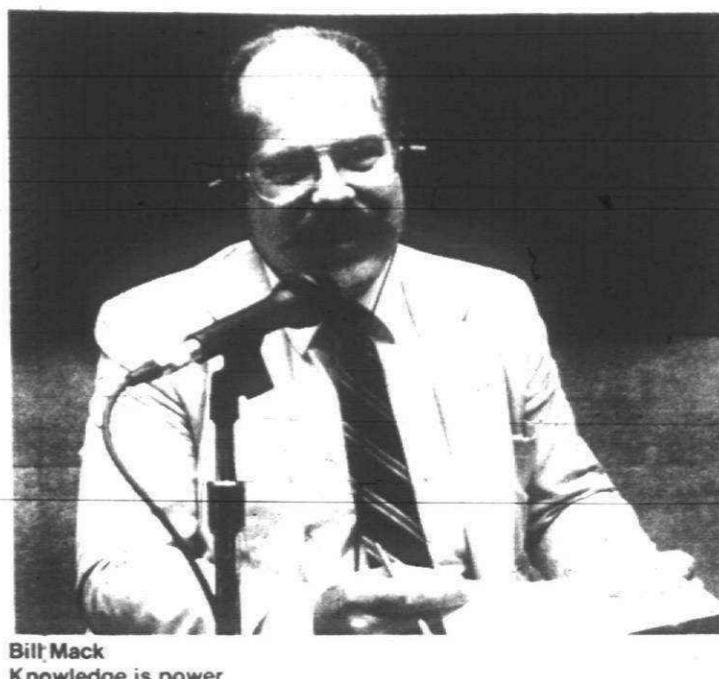
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Bill Mack Knowledge is power

## Demolition sales pave way for new houses

Continued from Page 1

"They aren't making much water any more." Typical lakefront lots of 60 feet by 125 feet cost between \$150,000 and \$200,000, he said.

Urban sprawl has also added pressure for buy and teardown sales, he said.

WONSACK SAID the changing face of lakefront property has been a gradual one and it will continue to be gradual. "It's happening now and in 25 years you'll see a huge difference in the waterfront."

What used to be the summer cot-

## Talk show tackles building beat

By Mary Rodrigue staff writer

Whether building a new house or remodeling an old one, tackling a major project or tinkering on a small job, Housecall is the place to pick up a wealth of information every Saturday at 1 p.m.

WEXL-AM (1340) radio host Bill Mack of Troy envisions listeners tuning in while gardening, painting or tackling any number of household chores usually reserved for that day.

"Saturday mid-day is one of the most intense radio (audience listening) times after morning drive time," said Mack.

One might say home repair is in his blood.

"I grew up watching my father change attics into bedrooms and basements into rec rooms," said Mack in his small studio at the Royal Oak station where he has worked as an announcer/engineer for seven years. Housecall debuted this past spring.

"I had worked as a draftsman during high school, later for an engineering firm and also a number of construction companies."

HIS INTENTION with Housecall is to help make home remodeling less stressful for both do-it-yourselfers and homeowners hiring professional contractors.

"It helps to know what's involved — whether you do it yourself or contract it out. (Remodeling) costs a lot of money. You want it done right. Preparation is the key that makes jobs come out smoothly."

Some of the problems Mack will see include room additions setting away from buildings, materials not quite meeting ends, and questionable quality of materials.

"When someone knows precisely what they want, they can get a bet-

ter price that is accurate. You have to know what you want."

With the homeowner, knowledge is power. And Mack wants his listeners to be well informed.

"Home building has gotten out of reach of young home buyers. They're holding onto their older homes longer. But they always want to improve it, make it look better."

ON HOUSECALL, Mack chats with guests running the gamut from cabinet makers to electricians, usually three guests for each hour show. A local attorney is featured regularly to address house construction matters.

Although a phone-in format was adopted at first, Mack found it took too much time away from each guest. Instead, he would prefer listeners to write and suggest topics to be covered.

Mack sells advertising time for the show when he's not lining up guests or dreaming up topics. He said he works 10 to 12 hours a day to produce the weekly show.

"The feedback has been really positive. It's bright, it sounds good, the pace is quick."

Mack said the audience he reaches is both young and old, male and female — the common denominator being house ownership.

"Sixty-eight percent of the population live in their own home. They could be in their early 20s or late 50s. Regardless, we are talking to them, the homeowner."

REGULAR LISTENERS are better informed on custom stairs, custom blinds, swimming pools, security systems, real estate inspection, interior decorating, water well drilling and all the building trades.

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# Caulk — easily forgotten but effective insulator

Most homeowners know that caulking cracks in the exterior of their house helps reduce heat loss in winter and makes it easier to cool in summer.

Caulk also keeps out moisture and pests. But with so many kinds of caulk available, deciding which to buy can be daunting.

Here are the facts so you can fill those cracks.

Caulking compounds are sold in bulk cans, in cartridges for use with a gun, in squeeze tubes and in rope-like strips good for temporary seals around storm windows and air conditioners. For a homeowner, it's usually most convenient to use cartridges in guns.

**THERE ARE six basic types of caulk.**

- Oil-base caulk is inexpensive and will bond to most surfaces including wood, masonry and metal. But it dries out relatively fast and is recommended only for temporary fixes.
- Latex-based, water-thinned caulk is fast-drying and will take paint very well. It's a good all-around caulk that is easy to use and relatively long-lasting.
- Butyl rubber caulk is long-lasting and best suited for making metal-to-masonry joints.
- Polyvinyl acetate caulk is a durable material that adheres to all surfaces, including paint.

- Silicone caulk is long lasting and takes well to all surfaces except paint. Because paint won't adhere to pure silicone caulk, it's usually best to choose clear caulk or a color that goes with the color of your house. Or use a silicone acrylic caulk, which is paintable and fairly durable.
- One-part polyurethane caulk is the longest lasting of all the compounds. Applied to a properly prepared surface, it will last for up to 40 years. But it won't take paint and it comes in a very limited number of colors.

**CAULKING IS needed wherever two materials or parts of a house are joined.**

- Where windows and doors meet siding, including under sills and above drip caps.
- At all corners formed by siding.
- Where the foundation meets siding.
- Where the chimney meets siding.
- Between the underside of eaves and gable molding.
- Between masonry steps, porches, patios, decks and the main body of the house.
- Around pipes, exhaust-fan outlets and clothes-dryer vents.
- Between siding and any part protruding from the main body of the house.

**SIZABLE CRACKS** in wood siding, concrete, roofing and masonry surfaces may require a permanent repair job instead of caulk. But you can fill many cracks wider than a half inch with oakum (loosely twisted temp or jute fiber impregnated with tar).

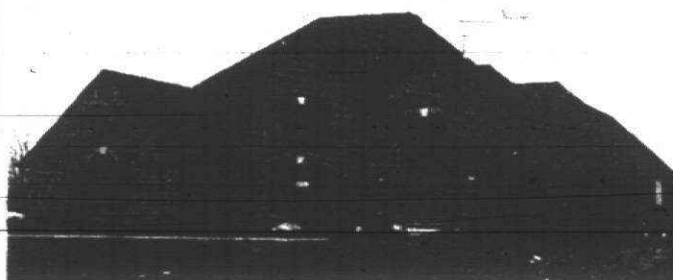
Before you begin, be sure to prepare the surfaces to be caulked. Scrape away any dirt, grease and old compound with a putty knife. Finish cleaning with a wire brush. To ensure adhesion, most caulks require wiping the surface with a solvent such as mineral spirits. Check the label directions. When dealing with a lacquered aluminum surface, first remove the lacquer with xylol, then wire brush the surface and finally apply a metal primer with a rust-inhibiting agent.

For an average-size job, use a cartridge inserted in a caulking gun. Cut the end of the nozzle diagonally at a width equal to that of most cracks, and push a long nail down the spout to puncture the inner seal. Squeeze the trigger slowly and draw the tip along the seam you want to fill. Work at a slow, even pace. If you want to be sure a joint is filled completely, push the tube along the joint instead of pulling it. Weather affects how caulk goes on. Caulk on a mild, dry day when it's over 50 degrees. On a hot day, refrigerate caulk for an hour or two to keep it from running. To keep unfinished tubes of caulking fresh, plug the hole in the tip with a large nail.

**Caulking is needed wherever two materials or parts of a house are joined.**

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Guenther homes in Oak Pointe Highlands range from 2300 to 3600 sq. ft. with three or four bedrooms, first floor master suites, vaulted ceilings, three-car garages, and are priced from \$254,500 to \$395,000.

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### BUILDER'S MODEL Magnificent Ranch Simsbury Condominium THE CAMBRIDGE

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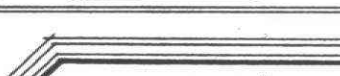
Elegant great room, cathedral ceiling with custom beams, built in bookcases, beautifully designed fireplace, spacious state-of-the-art kitchen, packed wood floors and cabinets, the sun shines thru the beautiful bay window of the morning room. Master Suite with studio ceiling, 2 walk-in closets, mirrored vanity area. Carpeted day-out in warm neutral tones. Walk-out lower level, and unit. Many, many extras! Visit today.

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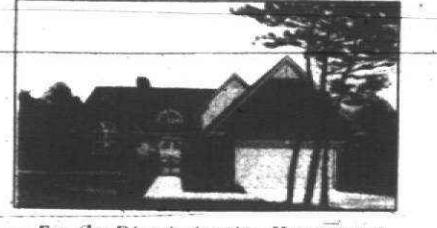
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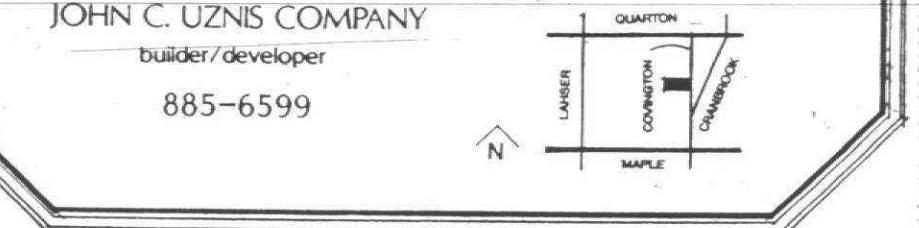
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Sales office and models located one block East of Newburgh on the North Side of Cherry Hill Road. Open Noon to 6 p.m. (Closed Thurs.) or Call for Appt. Belle Construction Co. 721-2959

### PINE KNOB GOLF COURSE HOMESITES

A gorgeous custom home development featuring timeless Country French Architecture. Exquisite golf course views and carefree condominium lifestyle. Wooded homesites from \$65,500.00. Golf course homesites from \$88,500.00. 49 lots total - only 12 left in final phase.

Howard T. Keating & Associates, Inc. Office Hours: Open Daily 1-5 Closed Thursdays 625-1580

Directions: I-75 North to Sashabaw (exit #89). Turn left. 1/2 mile to Weldon Rd. Left at stop light. Left into Entry. 1/2 mile to Sales Office

## commercial real estate sales in Oakland and Wayne counties

This lists commercial real estate transactions for the week of May 20-26 in Oakland and western Wayne counties. The first name listed is that of the buyer. The second name is that of the seller. Any transaction price followed by an \* represents the price paid for more than one piece of property.

**OAKLAND COUNTY**  
Farmington Hills 10 Mile Road  
Independence Township 2700 Dixie Hwy  
Commercial Vacant Land

John Sawyer Bruce Hariton \$130,000  
Ortonville Road Commercial Sidney E. Sparks Betty J. Bigger \$37,000\*

Lathrup Village 26739 Southfield Road Commercial Nagle & Nagale Co Ranjendra Bothra \$225,000

Madison Heights 918 W 11 Mile Road Other Retail Structure Ben L. Wulff

Southfield 21211 Bridge Street Commercial Warehouse Sheridan Anderson Bridge Ltd Inves 21 \$300,000\*

Waterford Township 5775 Dixie Commercial Stop N Go Foods Inc Austin Oil Co Of Flint \$302,500

Belleville 416 Columbus Other Comm Structures James B. Flatt Roland E. J. Thompson \$81,500

Inkster 2800 John Daly Industrial Carron & Co. Princeton Properties Inc \$250,000

The pulse of your community • The pulse of your

### South Pointe ADULT CONDOMINIUMS

Great location, worry-free living with comfort and convenience for adults 50 and over. Nestled on the south side of Washtenaw Lake with 300 feet of lake frontage. Only 1/2 miles from 12 Oaks Mall.

Preview Price **\$79,900**

- 1 and 2 beds
- Custom finished kitchen and vanity cabinets
- Refrigerator, range, self-cleaning oven, dishwasher, garbage disposal
- Spacious two-story atrium main lounge & community room
- Individually controlled heating and air conditioning included
- Balconies or patios
- Elevator in each building
- Detroit city water & sewer
- Full quota of handicap units

Call Custom Realty Services 624-4670

### PRE-CONSTRUCTION OPENING The Villas

An Adventure in Continental European Living LUXURIOUS DETACHED CONDOMINIUMS IN WESTERN LIVONIA HOMES BEGINNING AT 199,500 RESERVATIONS NOW BEING ACCEPTED

SALES CENTER OPEN DAILY Noon-6:30 P.M. 953-0080

DEVELOPED & MARKETED BY BECK DEVELOPMENT SITE DEVELOPMENT & BUILDING CONSTRUCTION BY GREEN MEADOW DEVELOPMENT & SOCIO CONSTRUCTION

### TIRED OF RENTING? Now You Can Afford BEAUTIFUL PIKE'S PEAK VILLAGE CONDOS IN WESTLAND

We're Having A BUILDERS CLOSEOUT From \$98,600

- 2 BR Ranches
- Full Basement
- 1st Floor Laundry
- Fully Carpeted
- 2 Baths
- 2 Car Attached Garage

Model Office located at Farmington Road and Ann Arbor Trail Model Hours: Mon.-Sun. 1-6 pm (Closed Thursday) Sales & Marketing by COLDWELL BANKER SCHWEITZER REAL ESTATE Call Ron or Al 347-3050

### On The Water... BLUE HERON POINTE

Beachfront Cluster Homes in Northville Township

**#1 MAPA Outstanding 1990**

Crystal clear water for swimming, boating & fishing... a lifestyle you'd love to come home to!

Featuring spacious ranch and 2 story luxury homes with walkout lower levels and private decks/patios overlooking calm water and sandy beachfronts.

from \$199,500

**344-8808**

Models Open Noon-6:30 p.m. (Closed Thursday)

**PHASE II CLOSE-OUT!**

presenting two VERY EXCLUSIVE VERY PRIVATE DEVELOPMENTS in Bloomfield & Birmingham

Singer-Gorge, Inc. takes great pride in offering you the opportunity to finally own the home of your dreams. Two very exclusive parcels and one very esteemed builder await your thoughts on designing your custom-built home. Contact Singer-Gorge, Inc. at your earliest convenience for an appointment to become a part of this exciting opportunity. Priced from \$625,000.

### THE INNER WOODS OF BLOOMFIELD

Just beyond the Franklin Ravine and overlooking the beautiful Franklin River, this private estate is being subdivided into eight spectacular lots. Isolated from an intruding world on a long and winding, wooded lane, the potential to create a truly one-of-a-kind home awaits you.

### KENWOOD COURT

Six heavily wooded lots offer the convenience and elegance of neighborhood living just a bicycle ride away from downtown Birmingham with its multitude of shopping, dining and entertainment. Your chance to enjoy a private world designed by you within a forest-like setting is finally within your reach.

**SINGER GORGE**

30833 Northwestern Hwy., Suite 100 Farmington Hills, MI 48018 For more information call 855-0400

### 5 STAR LIVING

ONLY ONE LUXURY WEST BLOOMFIELD CONDOMINIUM SAYS "YOU CAN HAVE IT ALL!"

- LOCATION - Central to the finest shopping centers.
- QUALITY - Creative, beautifully detailed, spacious layouts in 2-3 bedroom townhomes and ranches.
- LUXURY - The area's most generous package of premium amenities.
- PRIVACY - Intimate cul-de-sac setting, graciously spaced units with charming brook and ample green-belted.
- VALUE - You will not find a more competitively priced property with comparable features anywhere in this area - judge for yourself!

NOW COMPLETING PHASE II

From \$168,990 1860 to 2170 sq. ft.

Open Daily 1-5 Closed Thursdays

Model: 681-2450 Office: 855-1310

### SHERWOOD CREEK

Located on Drake Rd at 14 Mile Rd. in West Bloomfield

### Historic Milford NOW OPEN

from \$99,900 IMMEDIATE OCCUPANCY

Financing as Low as 6%\*

Luxurious Ranches & Townhomes

**ALL NEW** Floor plans with 2 car garages, central air, 1st floor laundry, ultra baths, view decks, cathedral ceilings, arched windows...

**ALL Standard.**

Model Open 1-6 pm except Thursdays

Call 685-0800 or Stop By 645 Summit Ridge Drive

Ralph Roberts Re/Max Properties, Inc.

Picture yourself away from the noise and traffic. Live in the peaceful village of Milford-high on a hill. Only 20-25 minutes from Farmington-Southfield area.

\*6% adjustable rate mortgage to qualified buyers through Citi-Corp.

### DEEP WATER DREAMS COME TRUE at ALGONAC HARBOUR CLUB A MARINA COMMUNITY

Set on a serene enclave of the St. Clair River, Algonac Harbour Club offers boaters the option of owning a private boat slip in Southeastern Michigan's premiere waterfront community.

- Amenities include:
- Superior location with deep water access to the Great Lakes
  - Luxurious boatwells available for ownership, from 35 to 60 foot slips
  - Easy financing available
  - Family restaurant and lounge
  - Swimming Pool and Tennis court
  - Overnight accommodations
  - Seasonal rentals
  - Full range boating storage and mechanical services facilities

For more information call: Rentals (313) 794-4448 Sales (313) 794-0880 Member MBI



### The Way You Live... ..Is As Important As Where You Live.

The way you'll live at The Lagoons means freedom, with the maintenance-free advantages of condominium living. It means privacy, with detached condominiums on wooded sites. It means satisfaction, with floor plans customized to your desires and built by a family with three generations of construction excellence. It means elegance, with features like sunken tubs, Master Suites, fireplaces, vaulted ceilings, Greatrooms and more. It means prestige, with a highly-valued West Bloomfield location. And it means beauty, with stunning exterior designs set within 141 acres of unspoiled, natural woodlands.



Discover The Lagoons, the perfect setting for the way you live.

the LAGOONS of West Bloomfield

Priced from \$189,900 363-6800 MODEL HOURS: 12-6 DAILY

An Irvine-Jacobson Development Located off Pontiac Trail, 1 1/2 miles east of Haggerty Road

**2.9%**  
Financing\*\*

# REBATES ARE BACK — BUY NOW AND SAVE!

**2.9%**  
Financing\*\*

**SPECIAL OF THE WEEK**  
**NEW 1990 TEMPO GL**  
**4 DOOR SEDAN**

**\$700 REBATE**



Power steering, power brakes, tinted glass, air, auto, AM/FM stereo cassette, console, light group, rear window defroster, poly cast aluminum wheels, power lock group, tilt steering wheel, aluminatation, interval wipers. Stock #4362.

WAS \$12,578 **IS \$8,982\***

**NEW 1990 FESTIVA LX**

**\$900 REBATE**



Power brakes, tinted glass, rear window defroster, AM/FM stereo radio, console, BSM, instrumentation, tilt steering column, reclining bucket seats, courtesy lamps. Stock #9115.

WAS \$8,025 **IS \$6,442\***

**NEW 1990 ESCORT GT**

**\$1,000 REBATE**



AM/FM stereo cassette, tinted glass, power steering, power brakes, air conditioning, clear coat paint, light group, security group, rear window defrost, speed control, tilt steering wheel, fog lamps, cast aluminum wheels, rear spoiler & console, instrumentation group, sport performance bucket seats. Stock #2036.

WAS \$11,989 **IS \$8,964\***

**NEW 1990 MUSTANG LX 2 DOOR HATCHBACK**

**\$1,000 REBATE**



Power steering, power brakes, tinted glass, air conditioning, rear window defroster, BSM, rear spoiler, console & light group, instrumentation, power door locks, power window, dual control, AM/FM stereo cassette. Stock #4367.

WAS \$12,571 **IS \$9,220\***

**NEW 1990 RANGER SUPER CAB**

**\$1,000 REBATE**



XL trim, power steering, power brakes, tinted glass, spoiler, instrumentation & light group, AM/FM stereo cassette, rear jump seat & wheels, overdrive transmission, chrome rear step bumper, moldings & cargo box light, anti-lock brakes. Stock #35235.

WAS \$13,885 **IS \$9,722\***

**NEW 1990 THUNDERBIRD**

**\$1,300 REBATE**



Power steering, power brakes, air, console, tinted glass, power windows, courtesy light, AM/FM stereo cassette, rear window defroster, cast aluminum wheels, power driver seat, power door lock group, automatic transmission, luxury group, clear coat paint. Stock #4212.

WAS \$17,334 **IS \$12,876\***

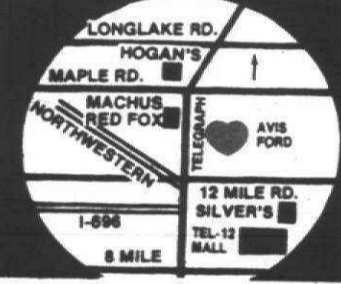
**Running Boards and custom Strips. 100 New Aerostars In Stock**



**NEW 1990 AEROSTAR**  
Extended wagon, power steering, power brakes, air, auto, XL trim, 7 passenger, tinted glass convenience group & instrumentation, clear coat paint, deluxe wheel trim, front spoiler, anti-lock brakes, skuff plates, dual fold away mirrors. Stock #4071T.

WAS \$15,470 **IS \$13,213\***

\*\*2.9% APR finance for 48 months on approved credit. Available on select models. See dealer for details. Previous sales excluded. \*Plus tax, title, license & destination. Rebate, if applicable, included. Retail sales only. Picture may not represent actual vehicle. Dealer added options only. Sale ends 7/27/90.



FREE TANK OF GAS with every new vehicle purchase from stock.

## Avis Ford

The Dealership With A Heart

**355-7500 or 1-800-648-1521**

TELEGRAPH RD. Just North of 12 Mile Rd., SOUTHFIELD  
OPEN MON. & THURS., 'TIL 9 P.M.



## WHEN IRISH EYES ARE

You'll Save A Bundle With The Smilin' Irishman!!

<p><b>1986 MUSTANG GT CONVERTIBLE</b> 5.0 V8, automatic, red beauty, drop the top!!</p> <p><b>\$8995</b></p>	<p><b>1990 PROBE TURBO GT</b> Twilight blue metallic, 9,000 one owner miles, better than new.</p> <p><b>\$13,995</b></p>	<p><b>1986 MUSTANG LX CONVERTIBLE</b> 5.0 V8, low miles, flawless.</p> <p><b>\$9495</b></p>	<p><b>1989 JEEP CJ7 WRANGLER</b> 2,000 actual miles, perfect in every way.</p> <p><b>\$10,495</b></p>	<p><b>1987 FORD T-BIRD</b> Gold metallic, power seat, wire wheels, GT tires, extra clean.</p> <p><b>\$7995</b></p>	<p><b>1988 PONTIAC 6000 4 DOOR</b> Automatic, air, cassette, 36,000 miles, better hurry!</p> <p><b>\$7995</b></p>
<p><b>1989 PROBE GT TURBO</b> 5 speed, power windows, cassettes. 2 to choose.</p> <p><b>\$10,995</b></p>	<p><b>1989 LINCOLN TOWN CAR Signature Series</b> Carriage roof, leather, wires. Arrive in Style!</p> <p><b>\$19,995</b></p>	<p>Coupon <b>Make your best deal Fill in missing lyric, and receive an additional \$500 off! Missing Lyric</b></p>  <p>Clip</p>		<p><b>1987 MERCURY COLONY PARK</b> 9 passenger wagon, leather, full power, like new.</p> <p><b>\$9495</b></p>	<p><b>1987 LINCOLN CONTINENTAL</b> Two-tone blue velour, wire wheels, digital dash, keyless entry, better than new.</p> <p><b>\$9995</b></p>
<p><b>1990 S-10 4x4 TAHOE</b> 3,000 miles, aluminum wheels, off road tires. Better than new!</p> <p><b>\$12,995</b></p>	<p><b>1985 CHEVY CONVERSION VAN</b> Raised roof, running boards, dual air and heat, 29,000 miles. Better Hurry!</p> <p><b>\$10,995</b></p>			<p><b>1987 BRONCO II 4x4 EDDIE BAUER</b> Aluminum wheels, cassette, two-tone paint, look at this.</p> <p><b>\$9495</b></p>	<p><b>1989 MUSTANG LX</b> Automatic, air, tilt, cruise, power windows and locks, low miles, 2 to choose, both like new.</p> <p><b>\$8995</b></p>
<p><b>1987 TEMPO</b> All wheel drive, automatic, air, 40,000 miles. Look at this!</p> <p><b>\$4995</b></p>	<p><b>1989 ESCORT GT Red Beauty</b> Loaded, 15,000 one owner miles.</p> <p><b>\$7995</b></p>	<p><b>1983 CHEVY IMPALA STATION WAGON</b> 9 passenger, air, stereo, low miles. Vacation Special.</p> <p><b>\$3995</b></p>	<p><b>1989 LINCOLN TOWN CAR</b> Dark blue metallic, leather carriage top, wire wheels, low one owner miles, should be in your driveway.</p> <p><b>\$16,495</b></p>	<p><b>1988 FORD AEROSTAR EDDIE BAUER</b> Two-tone paint, deep tint, all the toys, Family Special.</p> <p><b>\$8995</b></p>	<p><b>1986 CHEVROLET CAVALIER Z-24</b> Automatic, air, tilt, cruise, stereo tape, aluminum wheels, black beauty, get here early.</p> <p><b>\$4995</b></p>
<p><b>1989 E150 CLUB WAGON</b> 9 passenger, deep tint glass, dual air and heat, dual tanks. Vacation Ready!</p> <p><b>\$12,995</b></p>	<p><b>1989 PROBE GL</b> Automatic, air, stereo, 3 to choose. Like new!</p> <p><b>\$8995</b></p>	<p><b>1988 T-BIRD TURBO COUPE</b> Dark blue metallic, dual 6-way seat, power moonroof, this one flawless.</p> <p><b>\$10,995</b></p>	<p><b>1988 COUGAR LIMITED EDITION</b> 29,000 miles, cassette, white beauty, one of a kind.</p> <p><b>\$9995</b></p>	<p><b>1985 BRONCO II 4x4</b> Dark blue metallic, aluminum wheels, off road tires, sharp.</p> <p><b>\$6995</b></p>	<p><b>1987 MERCURY GRAND MARQUIS</b> Gray metallic, landau top, loaded.</p> <p><b>\$8995</b></p>
<p><b>1989 MUSTANG GT</b> Automatic, air, full power. Get here early!</p> <p><b>\$10,995</b></p>	<p><b>1987 MUSTANG GT</b> T-tops, cassette, full power, low miles, extra clean!</p> <p><b>\$8695</b></p>	<p><b>1989 TAURUS SHO</b> Black beauty, leather, low miles, all the toys, sharp!</p> <p><b>\$14,495</b></p>	<p><b>1989 DODGE DAYTONA SHELBY TURBO</b> Automatic, power seat, cassette, 10,000 actual miles, better than new.</p> <p><b>\$10,995</b></p>		

6 months or 6,000 mile power train warranty included on all cars additional coverage available

9600 Telegraph  
Just South of Jeffries Freeway  
Monday & Thursday till 9 p.m.

# Pat Milliken Ford

Home of the Smilin' Irishman

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